

Drawing Register

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TP00.02	Staging Plan	-
TP00.03	Demolition / Existing / Construction Management Plan	-
TP01.01	Ground	A
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TP01.05	Level 2	A
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TP02.01	Elevations	A
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TP03.02	Site Sections 02	A
TP03.03	Site Sections 03	-
TP03.04	Ramp Section	-
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TP04.06	Shadows	-
TP04.07	Shadows	-
TP05.01	Landscape Plan	A
TP05.02	GFA	A
TP05.03	Development Summary	A



Project  
72-78 Box Road, Taren Point

Client  
Landmark Group

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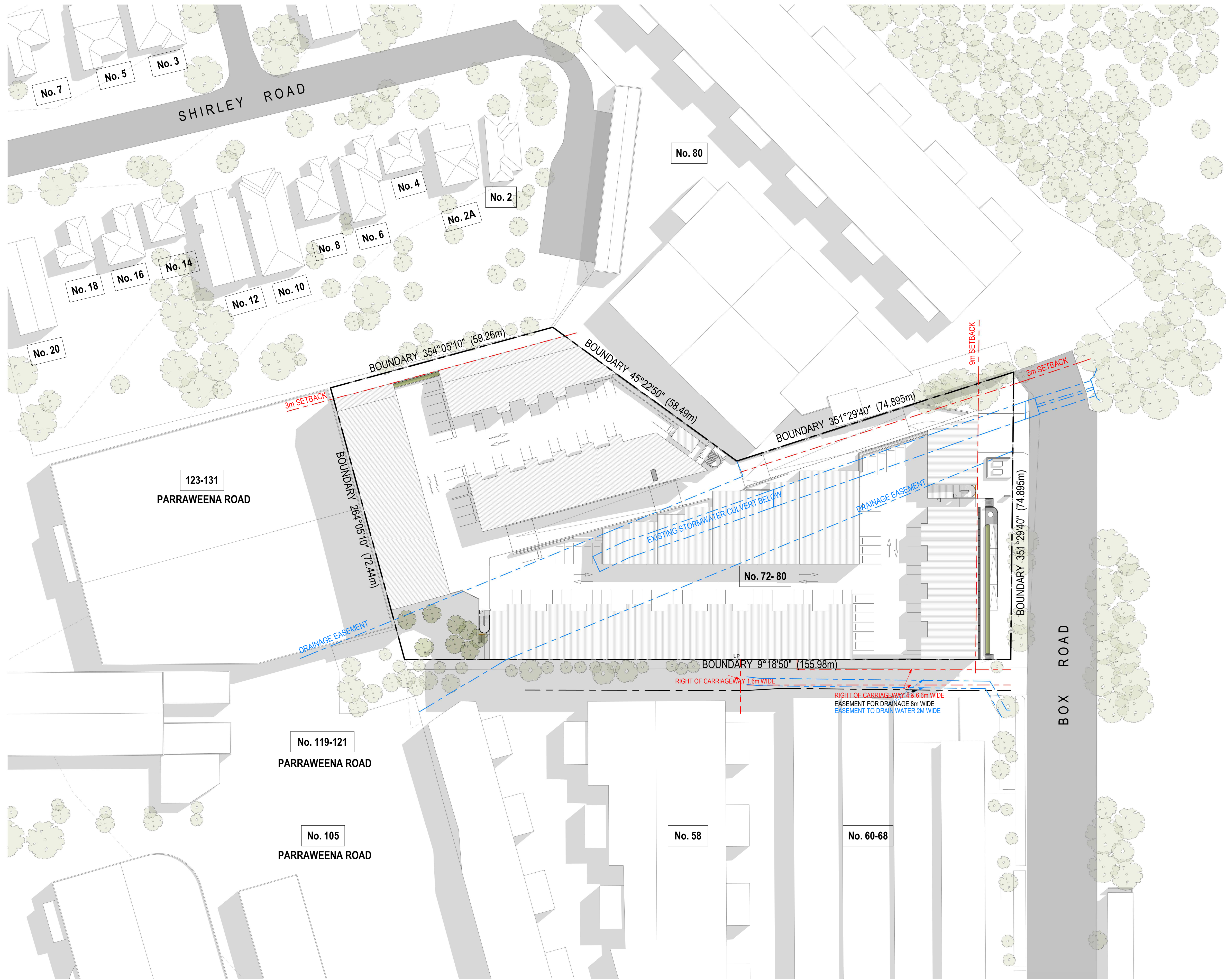
DEVELOPMENT APPLICATION

Project No.	Date
221038	04.04.22
Drawing No.	Revision
TP00.00	A

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- LEGEND**
- BOUNDARY LINE
  - SETBACK
  - EASEMENTS
  - SITE/BUILDING ENTRY
  - EXISTING TREES
  - NEW TREES

**DEVELOPMENT APPLICATION**

Revisions / 29.09.21 DA Submission JL

Project / **Taren Point**

Drawing / **Site Plan**

Project No. / **221038** Date / **29.09.21**

Author / **PM**

Scale: @ A1 / **1 : 500**

Drawing No. / **TP00.01 -**

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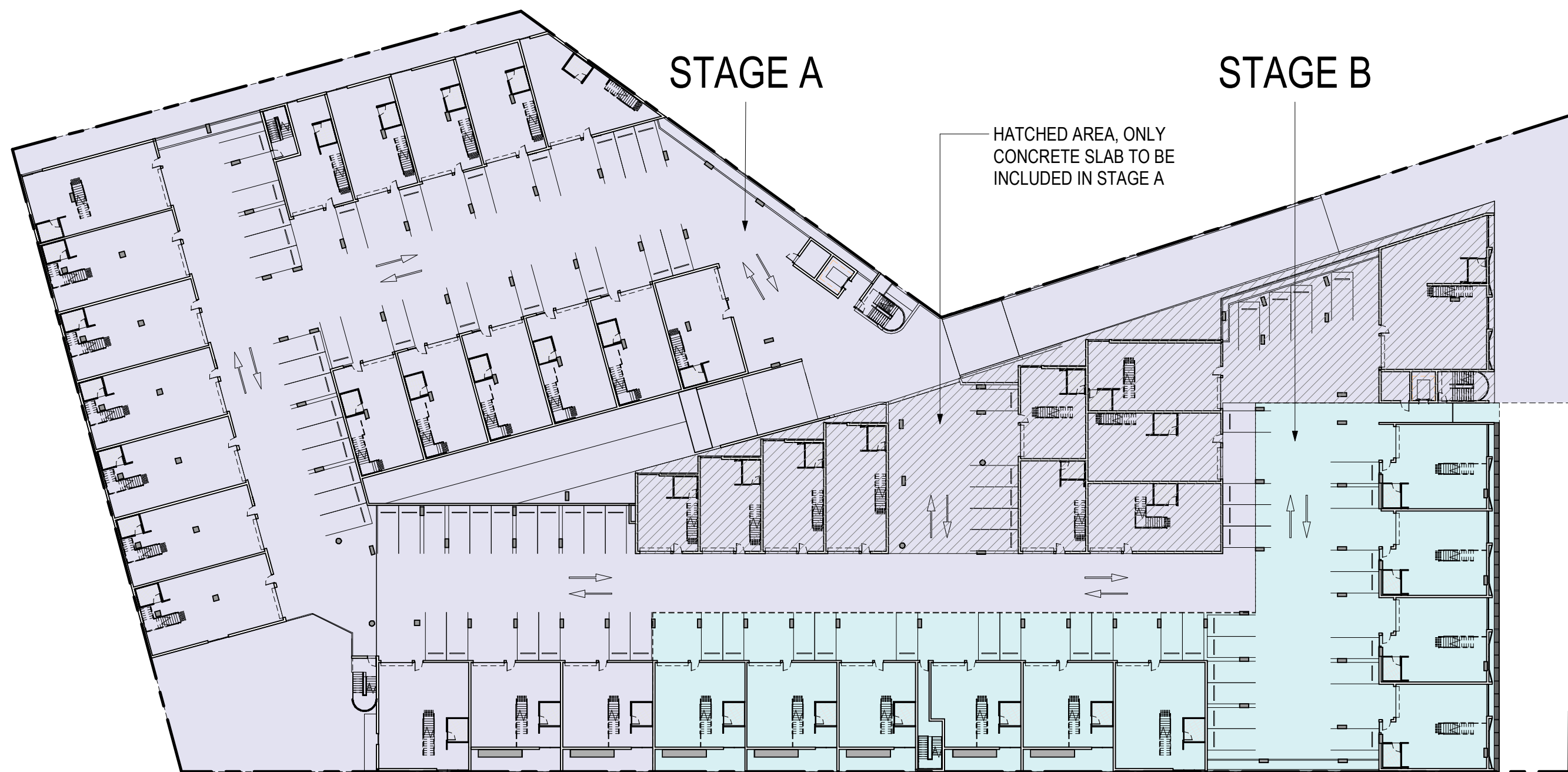




STAGE A  
ALL GROUND FLOOR  
SLAB TO BE INCLUDED  
AT STAGE A

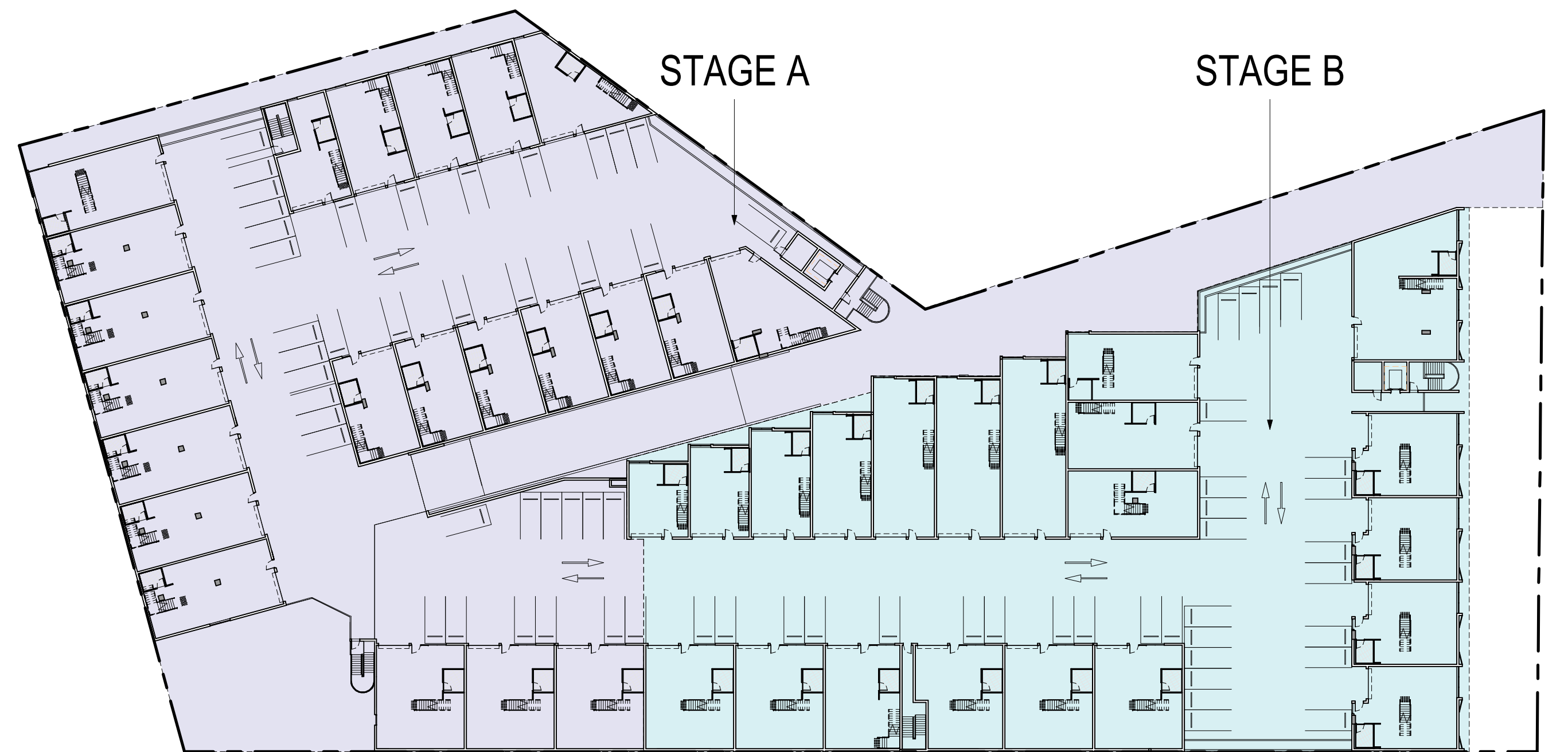
STAGE B

Staging Plan - Ground



HATCHED AREA, ONLY  
CONCRETE SLAB TO BE  
INCLUDED IN STAGE A

Staging Plan - Level 1



Staging Plan - Level 2

## DEVELOPMENT APPLICATION

Revisions / 29.09.21 DA Submission JL

Project / Taren Point

Drawing / Staging Plan

Project No / 221038 Date / 29.09.21

Author / PM

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Drawing No. / TP00.02 -

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Demolition Notes

Contractor to confirm existing conditions on site.

Contractor to demolish existing structure/remove all materials. Cut and seal services as required in accordance with local authority requirements and a.s. codes for that trade u.n.o

Protection of works as required by local authorities

Cleaning of site to epa requirements by contractor

Asbestos

Contractor to allow for complete demolition & removal of all asbestos products. All asbestos products to be removed & handled as per relevant Australian standards

Extent of demolition work as indicated on this drawing , including but not limited to the following:

Removal/demolition of all existing floor/slabs & footings, external and internal walls, windows, doors, cladding, gutters, downpipes, rainwater heads, cappings, flashing gutter board supports etc. u.n.o

Removal/demolition of all existing works including but not limited to external steps, paths, carparks, planters & landscaping, gates, fences, garden walls, retaining walls, bollards, light blades signs, columns etc. u.n.o

Removal/demolition of all existing fixtures and fittings including but not limited to lights, taps, basins, was etc. Disconnection & removal of existing services to be undertaken by appropriate contractors

Contractor to make good damage to adjoining buildings, pavement, laneways, roads, fences, kerbs, channels, services, street furniture, carspace markings etc. (ie. Any adjoining objects/materials not within site boundary) resulting from demolition works.

All repairs to authority requirements or to condition prior to demolition. Contractors are responsible for relocation and co-ordination of road carparking markings, ticket machines etc.

Preliminary

Precautionary measures to be undertaken as described in AS.2601-2001. A "hazardous substances management plan" is to be implemented before and during demolition. If the preliminary investigation of the building identifies any hazardous materials contained therein. These materials will be removed as per the guidelines of the responsible authority and clearance certificate obtained before demolition commences

Safety fencing

Security fences shall be provided to the street boundary of the demolition site and any additional precautionary measures, taken as may be necessary to prevent unauthorised entry to the site, where the demolition site adjoins a public thoroughfare the common boundary between them shall be fenced for its full length with a hoarding unless the least horizontal distance between the common boundary and the nearest part of the structure is greater than twice the height of the structure. The fencing shall be the equivalent of the chain wire as specified in AS.1725

Notices lettered in accordance with AS.1319 and displaying the words "warning demolition in progress", or similar, shall be fixed to the fencing at appropriate places to warn the public. Provision shall be made for ready access to the site by emergency services personnel in the event of fire or accident

Demolition work

Structures shall be demolished in the reverse order to that of their construction. The order of demolition for buildings shall be progressive, storey by storey, having proper regard to the type of construction. No part of any structure shall be left unsupported or unattended in such a condition that it may collapse or become dangerous. Precautions shall be taken to ensure that the stability of all parts of the structure, and the safety of persons on and outside the site, will be maintained in the event of sudden and severe weather changes.

Walls on the boundaries are to be demolished in a safe and workmanship like manner. Walls shall not be laterally loaded by accumulated debris or rubble, to the extent that they are in danger of collapse, allowable loading of the suspended floors shall be determined by an independent structural engineer.

Dust control

The techniques adopted for stripping out and for demolition shall minimise the release of dust into the atmosphere. Before the commencement of stripping or demolition in an area of a structure, any existing accumulations of dust in that area shall be collected, placed in suitable containers and removed. Selection of an appropriate collection technique, such as vacuuming or hosing down, shall take due account of the nature of the dust and the type of hazard it presents. Dust generated during stripping, or during the breaking down of the building fabric to removable sized pieces, shall be kept damp until it is removed from the site or can be otherwise contained. The use of excess water for this purpose shall be avoided.

Noise control

Noise shall be minimised as far as practicable, by the selection of appropriate methods and equipment, and by the use of silencing devices wherever practicable to epa/code requirements.

Note:  
1. Attention is drawn to recommendations in AS.2436  
2. Hours of operating equipment may be restricted by regulatory authority

Fire services

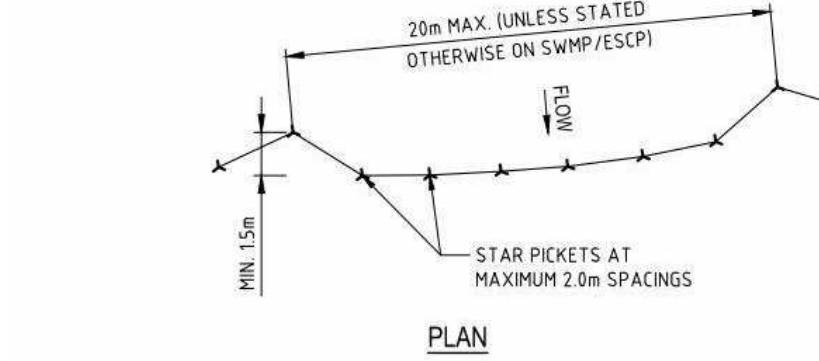
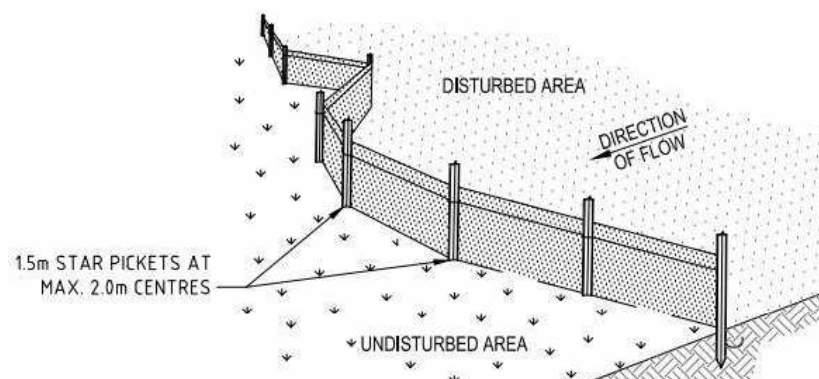
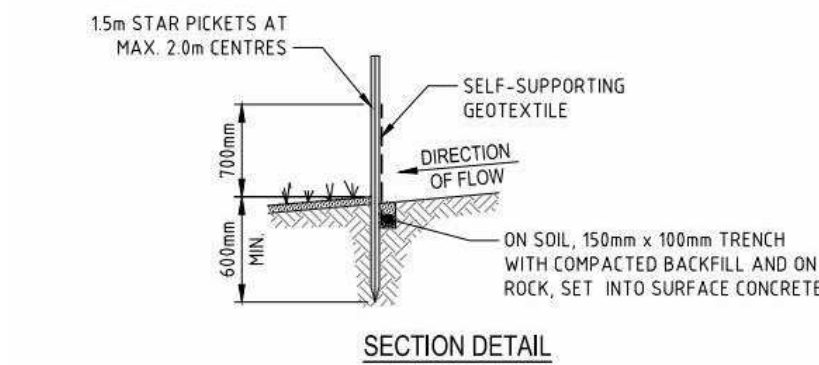
Where a fire hydrant service or a fire hose reel service is provided in a building, it shall be available at all times during the demolition of the building, so that all remaining storeys except the two uppermost storeys, are serviced. Access to the fire protection services, including any booster fitting, shall be maintained at all times. If a sprinkler system is installed in a building to be demolished, it shall be maintained in an operable condition at each storey below the two uppermost unstripped storeys. Suitable portable fire extinguishers shall be kept at all times in working area and are not protected by other fire services, and maintained in an operable condition.

Adjoining properties

Safe access to and egress from adjoining buildings shall be maintained at all times for the duration of the demolition work. No demolition activity shall cause damage to or adversely affect the structural integrity of adjoining buildings. The effects of vibration and conversion on adjoining buildings and their occupants shall be minimised by selecting demolition methods and equipment appropriate to the circumstances. Where any surface of an adjoining building is exposed by demolition, the need for weatherproofing the exposed surface shall be investigated and temporary or permanent protection provided as appropriate. Precautions shall be taken to minimise the spreading of mud and debris by vehicles leaving the site.

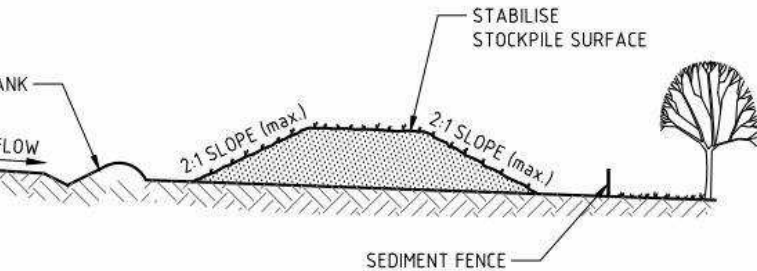
General

Openings in existing walls and floors, through which there is a risk of persons falling to lower level, shall be either properly guarded or boarded over and the boarding secured against unauthorised or accidental removal. Precautions shall be taken to prevent glass from falling on any person in or outside the building. Demolished material shall not be allowed to fall freely outside the structure unless it is confined within a chute or similar enclosure, which is clear of obstructions to objects falling freely. Demolished material shall be removed progressively from the site and at any time, shall not be allowed to accumulate to the extent that it presents a hazard to the public or to site personnel.



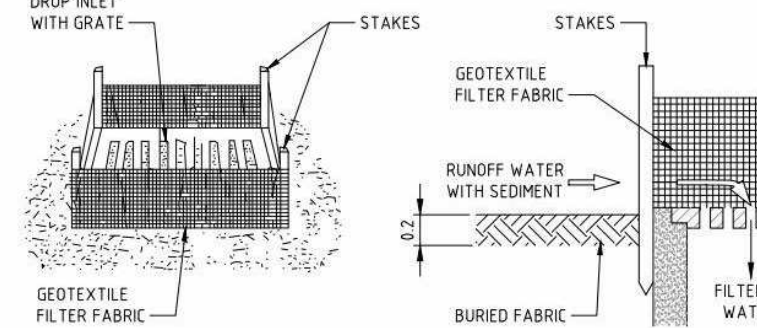
SEDIMENT FENCE

- NOTE
1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN TO LIMIT THE CATCHMENTS AREA OF ANY ONE SECTION. THE CATCHMENTS AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50% IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
  2. CUT A 200mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE FABRIC TO BE ENTRENCHED.
  3. DRIVE 1.5m LONG STAR PICKETS INTO GROUND AT 2m INTERVALS AT DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKET ARE FITTED WITH SAFETY CAPS.
  4. FIX SELF SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING.
  5. JOIN SECTIONS OF FABRIC AT SUPPORT POST WITH A 150mm OVERLAP.
  6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.



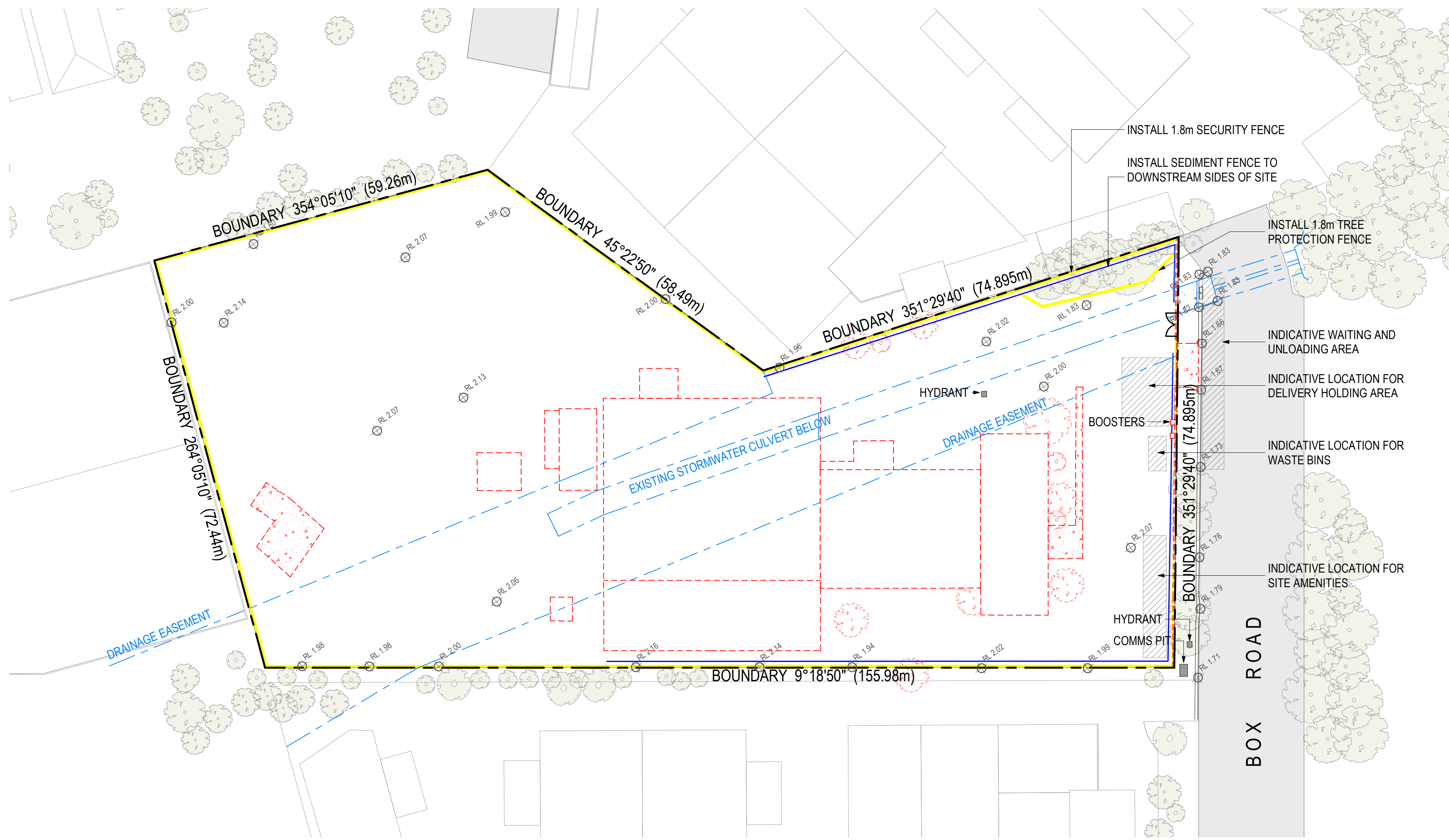
STOCKPILE

- NOTE
1. PLACE STOCKPILES MORE THAN 2m FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
  2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
  3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2m IN HEIGHT.
  4. CONSTRUCT EARTH BANKS ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES 1 TO 2m DOWNSLOPEBACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.



GEOTEXTILE INLET FILTER

- NOTE
1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
  2. CUT A 200mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE FABRIC TO BE ENTRENCHED.
  3. DRIVE 1m LONG STAR PICKETS INTO GROUND AT THE FOUR CORNERS OF PIT WALLS. ENSURE ANY STAR PICKET ARE FITTED WITH SAFETY CAPS.
  4. FIX SELF SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING.
  5. JOIN SECTIONS OF FABRIC AT SUPPORT POST WITH A 150mm OVERLAP.
  6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.



LEGEND

- BOUNDARY LINE
- - - - BUILDINGS TO BE DEMOLISHED
- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO REMAIN
- SEDIMENT CONTROL FENCE
- SECURITY FENCE
- SITE GATE

DEVELOPMENT APPLICATION

Revisions / 29.09.21 DA Submission JL

Project / Taren Point

Drawing / Demolition / Existing / Construction Management Plan

Project No / 221038 Date / 29.09.21

Author / PM

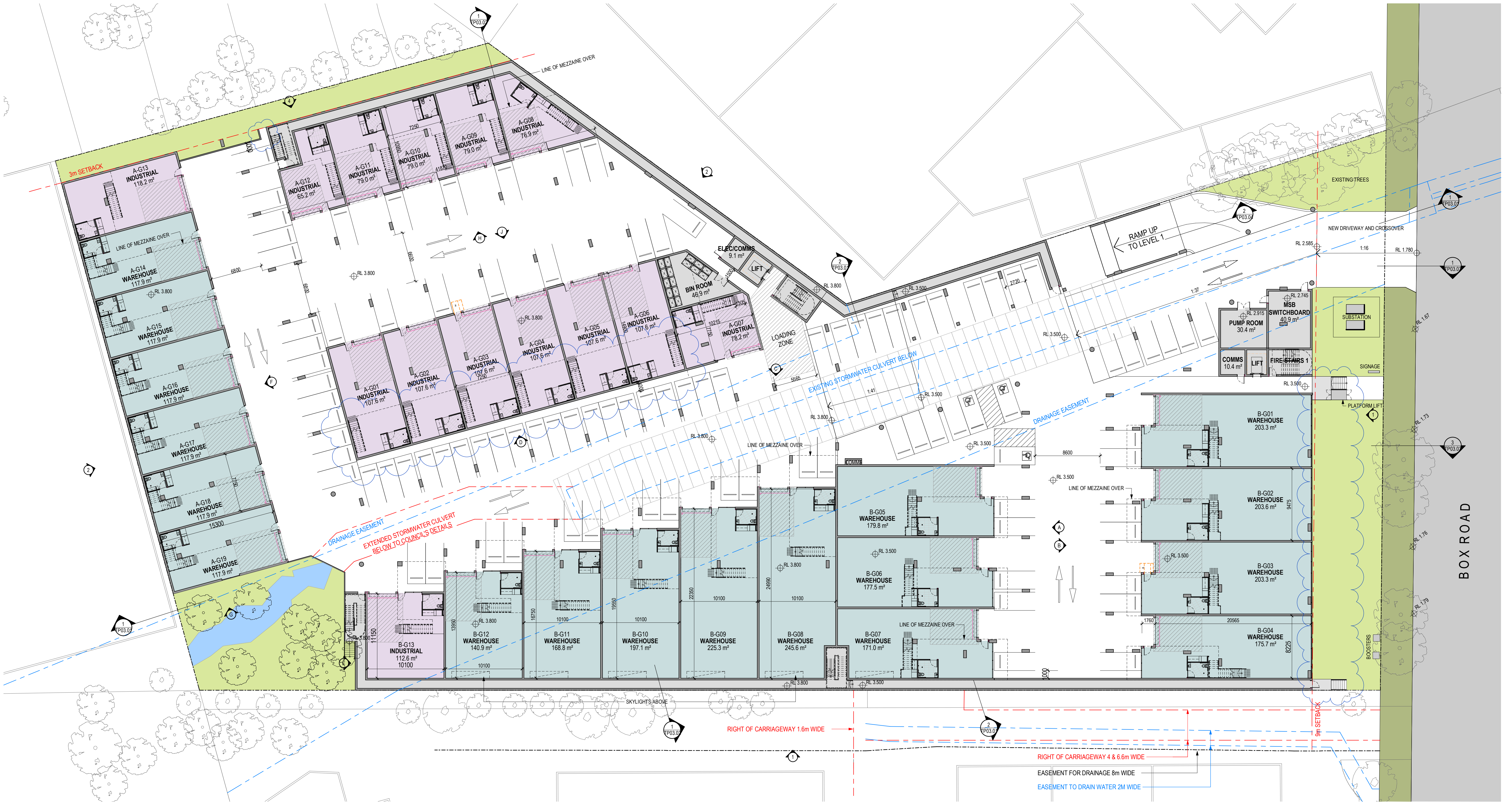
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**LEGEND**

- INDUSTRIAL UNIT
- WAREHOUSE UNIT
- LOADING DOCK

**CAR PARKING SUMMARY**

LEVEL	SPACES
GROUND	29
GROUND UPPER	64
LEVEL 1	82
LEVEL 2	70
	245

DEVELOPMENT APPLICATION

Revisions	-	29.09.21	DA Submission	JL
	P1	29.03.22	For Coordination	JL
	A	04.04.22	Response To Council RFIs	JL

Project / **Taren Point**

Drawing / **Ground**

Project No / **221038** Date / **04.04.22**

Author / **JL**

Scale: @ A1 / **1 : 250**

Drawing No. / **TP01.01 A**

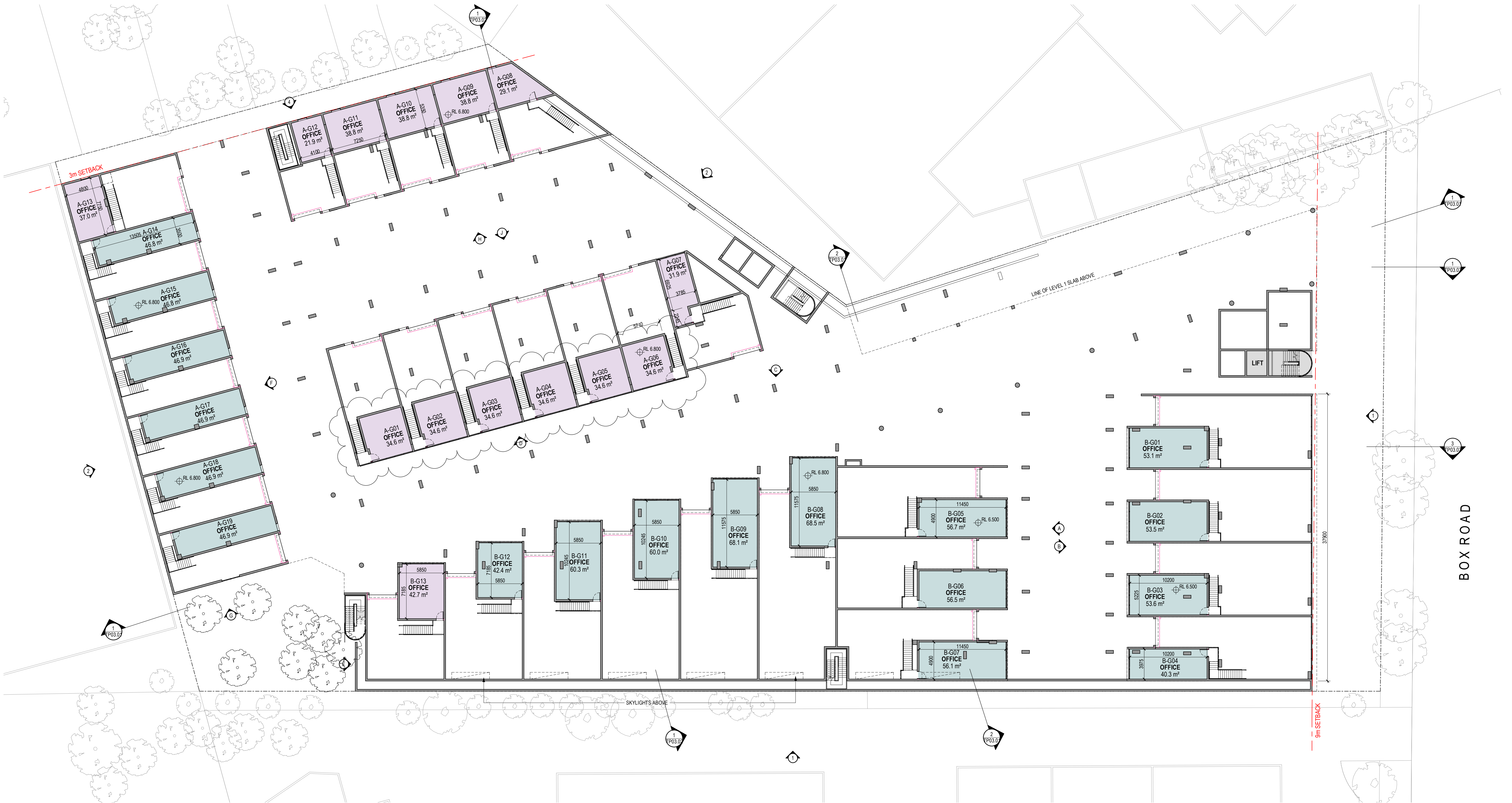
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**LEGEND**

- INDUSTRIAL UNIT
- WAREHOUSE UNIT
- LOADING DOCK

**DEVELOPMENT APPLICATION**

Revisions

- 29.09.21 DA Submission
- 04.04.22 Response To Council RFIs

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JL

ProjectTaren Point

DrawingGround Mezzanine

Project No221038

Date04.04.22

AuthorJL

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Drawing NoTP01.02 A

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Plans - PPSSSH-104 (17 May 2022) - DA21/1131

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LEGEND	
	INDUSTRIAL UNIT
	WAREHOUSE UNIT
	LOADING DOCK

CAR PARKING SUMMARY	
LEVEL	SPACES
GROUND	29
GROUND UPPER	64
LEVEL 1	82
LEVEL 2	70
	245

DEVELOPMENT APPLICATION

Revisions	-	29.09.21	DA Submission	JL
	A	04.04.22	Response To Council RFIs	JL

Project / Taren Point

Drawing / Level 1

Project No / 221038 Date / 04.04.22

Author / JL

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Drawing No. / TP01.03 A

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**LEGEND**

- INDUSTRIAL UNIT
- WAREHOUSE UNIT
- LOADING DOCK

**CAR PARKING SUMMARY**

LEVEL	SPACES
GROUND	29
GROUND UPPER	64
LEVEL 1	82
LEVEL 2	70
<b>TOTAL</b>	<b>245</b>

DEVELOPMENT APPLICATION

Revisions	-	29.09.21	DA Submission	JL
	A	04.04.22	Response To Council RFIs	JL

Project / **Taren Point**

Drawing / **Level 2**

Project No / **221038**    Date / **04.04.22**

Author / **JL**

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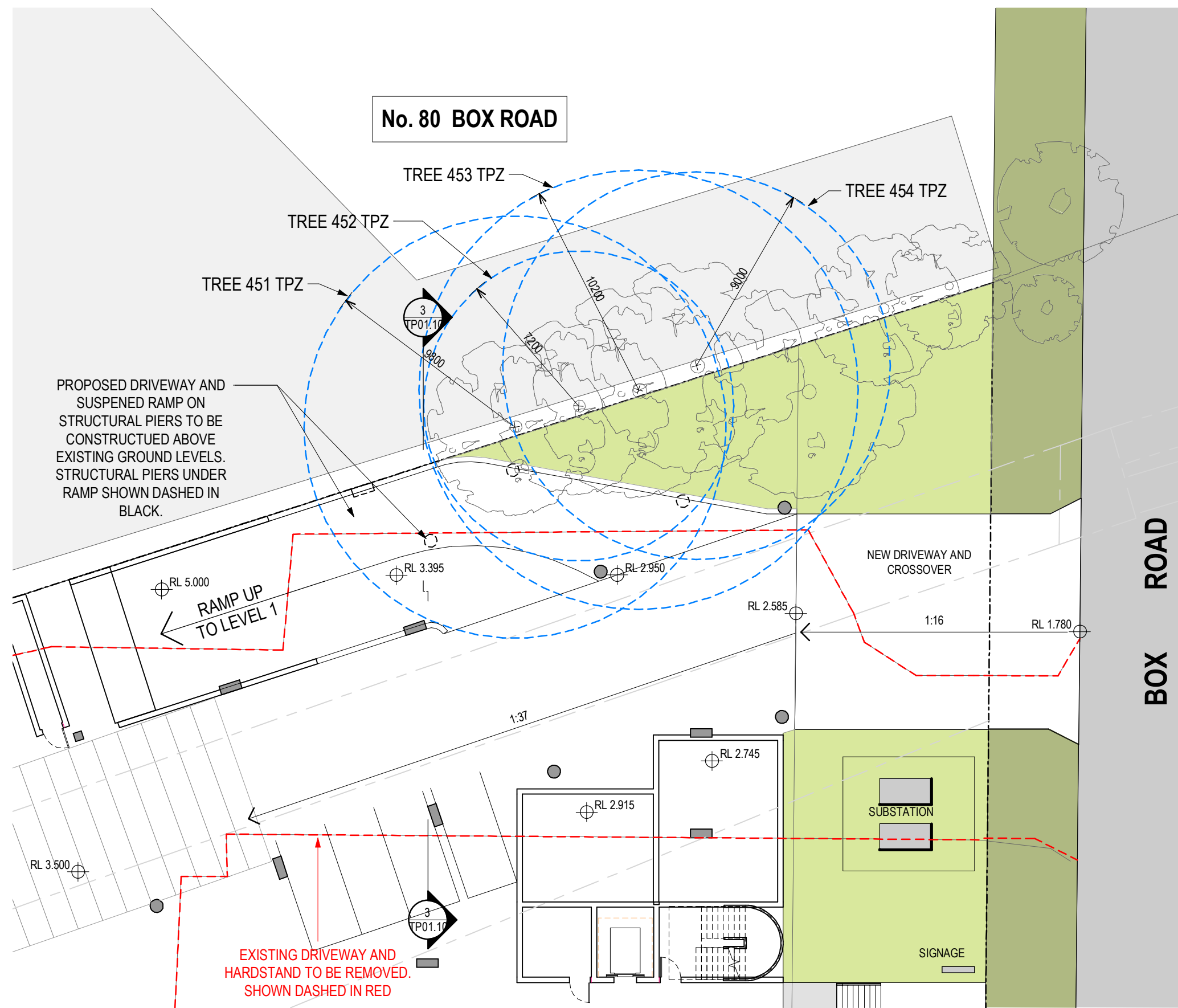




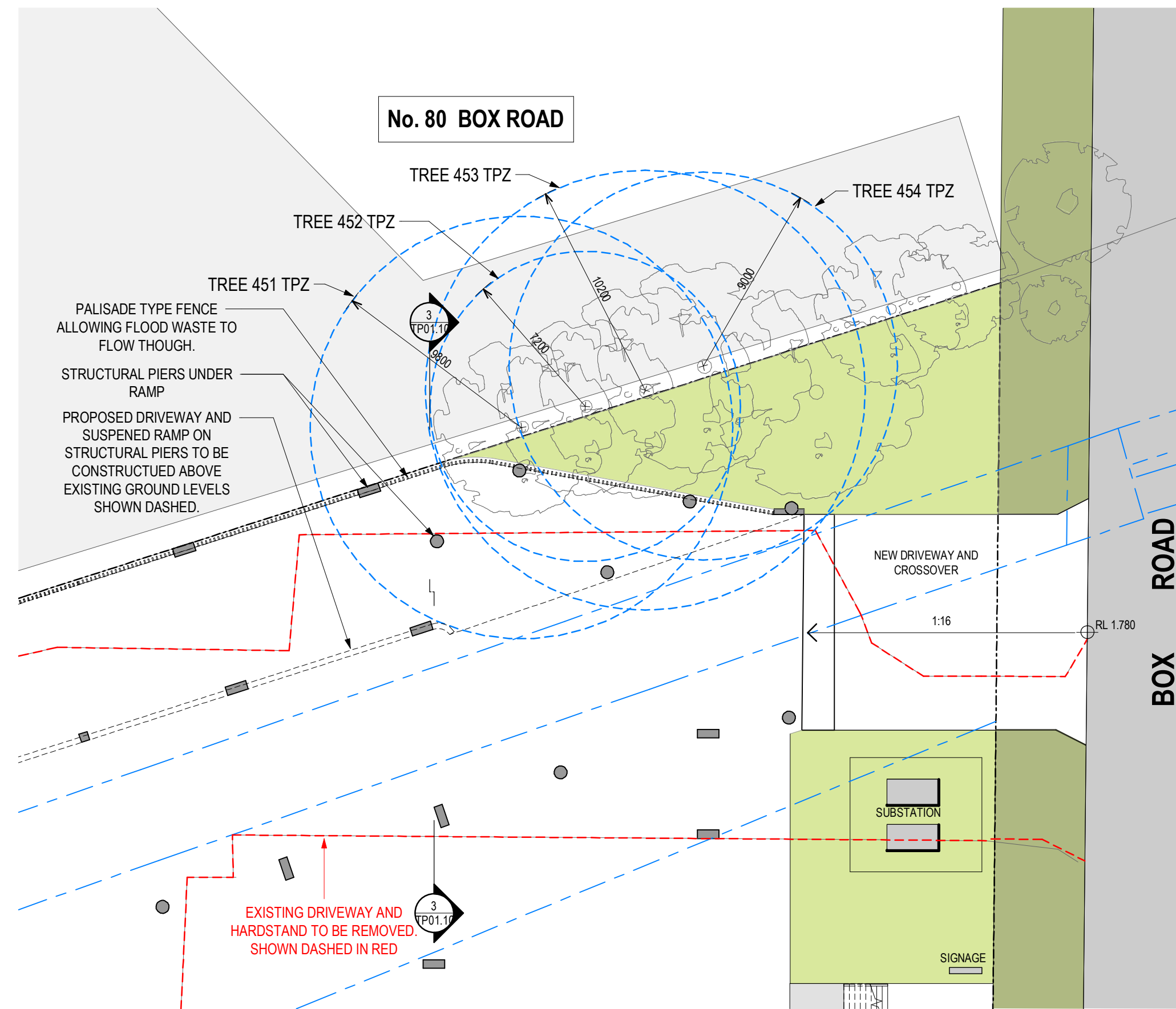




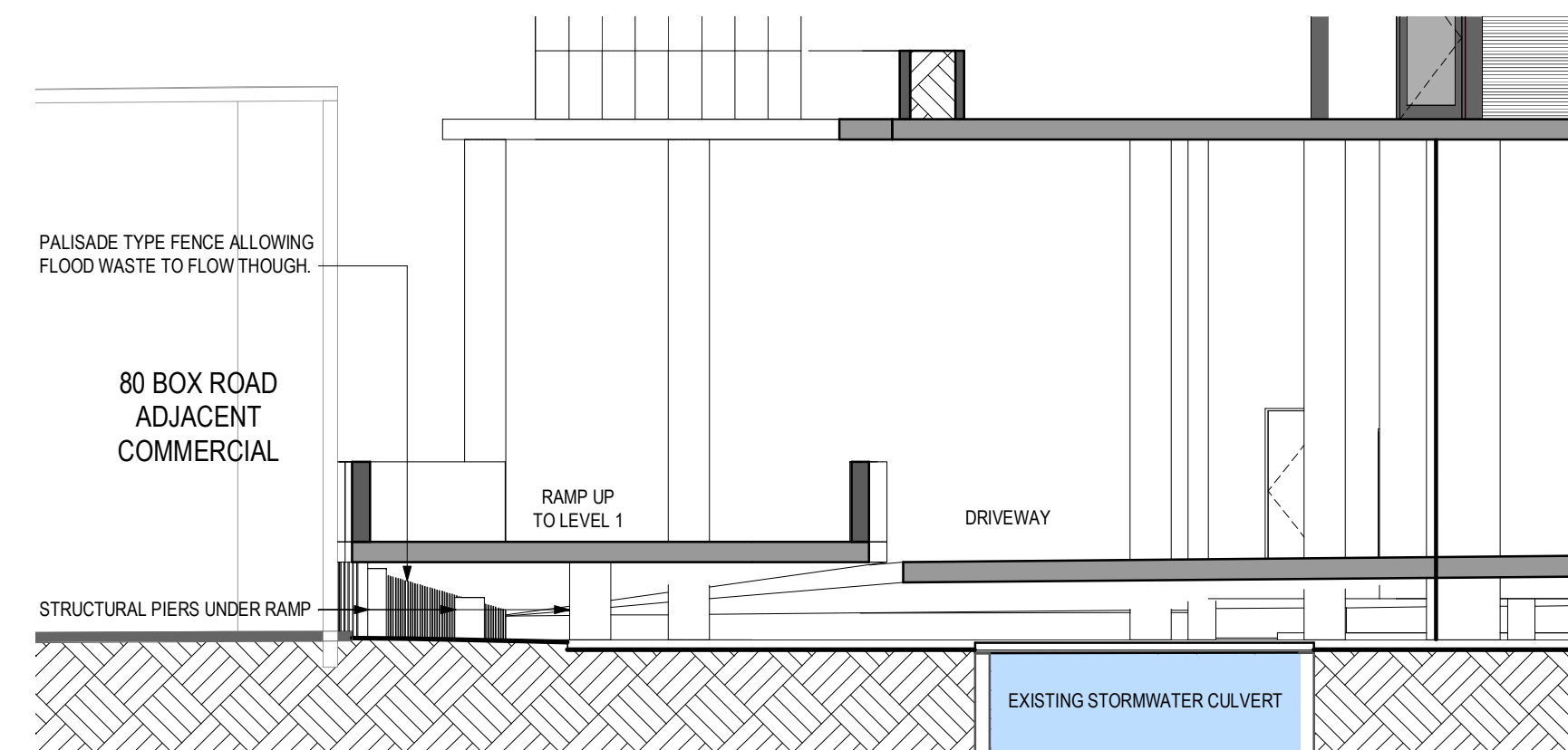




Entry Driveway Plan - Elevated Ground Level  
1  
SCALE 1:200



Entry Driveway Plan - Natural Ground Level  
2  
SCALE 1:200



Ramp Detail Section  
3  
SCALE 1:100

## DEVELOPMENT APPLICATION

Revisions / 04.04.22 Response To Council RFIs JL

Project / Taren Point

Drawing / Entry Driveway Plan

Project No / 221038

Date / 04.04.22

Author / JL

Scale: @ A1 / As indicated

Drawing No. / TP01.10 -

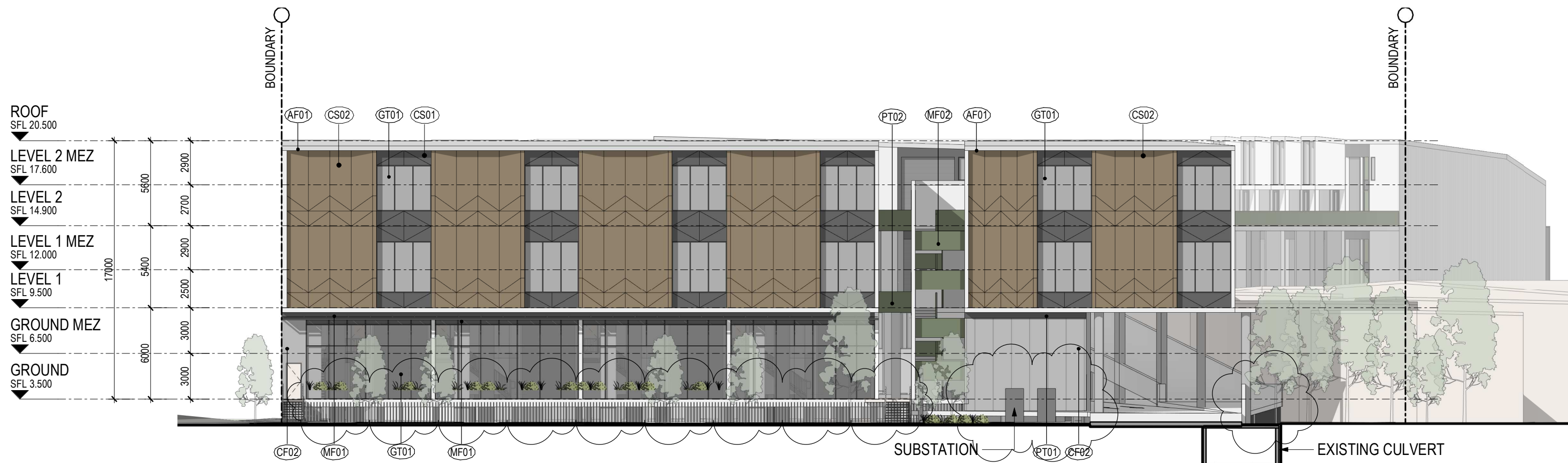
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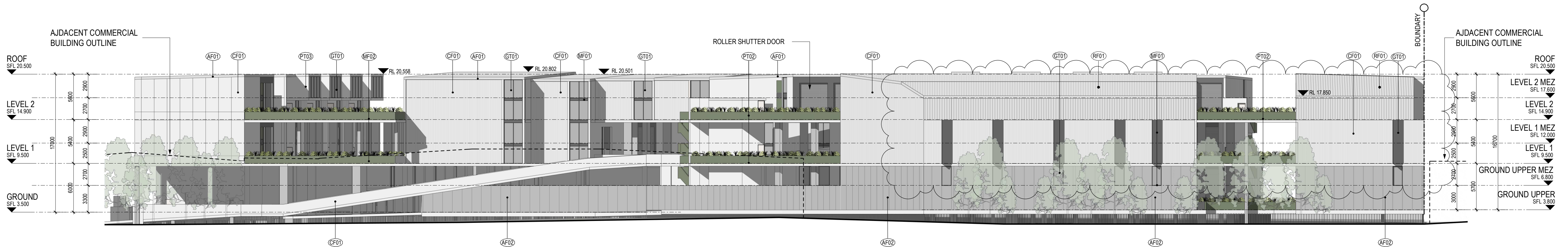




North Street Elevation



North-West Elevation



West Elevation

## LEGEND

CF01 Concrete - Light	MF01 Charcoal Coloured Finish
CF02 Concrete - Grey	MF02 Green Coloured Finish
CS01 Charcoal Coloured Finish	PT01 Paint Finish - Charcoal
CS02 Bronze Coloured Finish	PT02 Paint Finish - Green
AF01 Applied Finish - Light Grey	PT03 Paint Finish - White
GT01 Glazing Clear	RF01 Metal Deck Roofing - Light Grey

## DEVELOPMENT APPLICATION

Revisions	29.09.21 DA Submission	JL
A	04.04.22 Response To Council RFIs	JL

Project **Taren Point**

Drawing **Elevations**

Project No **221038** Date **04.04.22**

Author **PM**

Scale: @ A1 **1 : 250**

Drawing No. **TP02.01 A**

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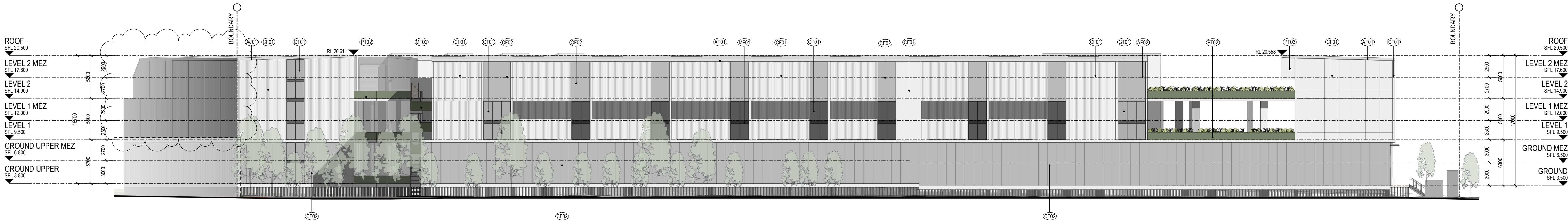
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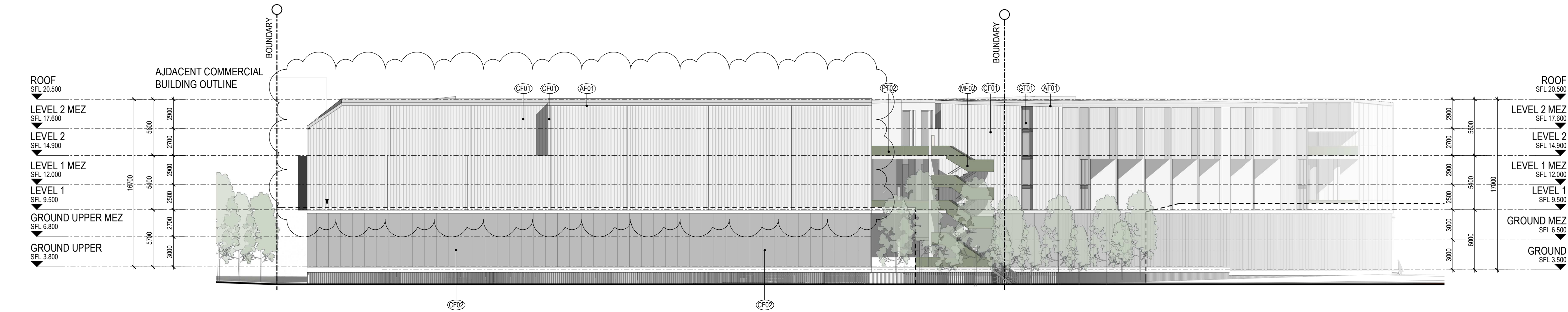
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East Elevation



South Elevation

## LEGEND

CF01 Concrete - Light	MF01 Charcoal Coloured Finish
CF02 Concrete - Grey	MF02 Green Coloured Finish
CS01 Charcoal Coloured Finish	PT01 Paint Finish - Charcoal
CS02 Bronze Coloured Finish	PT02 Paint Finish - Green
AF01 Applied Finish - Light Grey	PT03 Paint Finish - White
GT01 Glazing Clear	RF01 Metal Deck Roofing - Light Grey

## DEVELOPMENT APPLICATION

Revisions	-	29.09.21	DA Submission
	A	04.04.22	Response To Council RFIs

JL  
JL

Project / **Taren Point**

Drawing / **Elevations**

Project No / **221038** Date / **04.04.22**

Author / **PM**

Scale: @ A1 / **1 : 250**

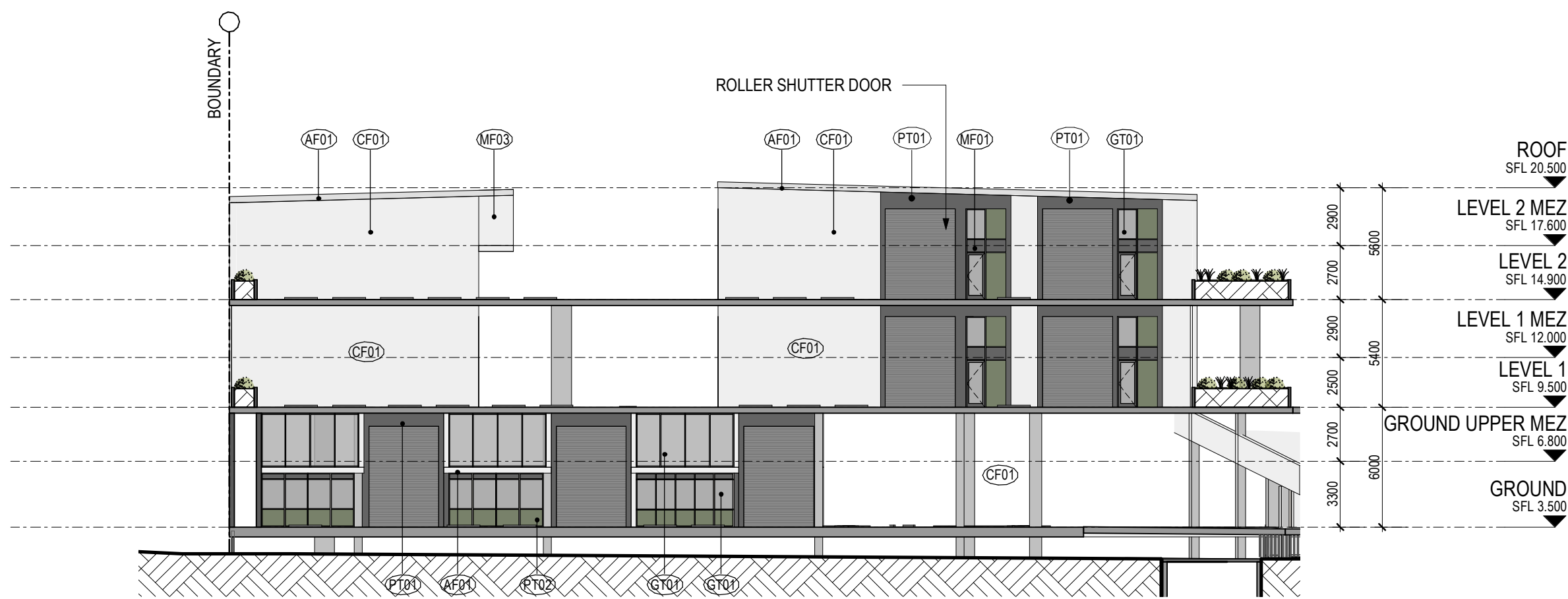
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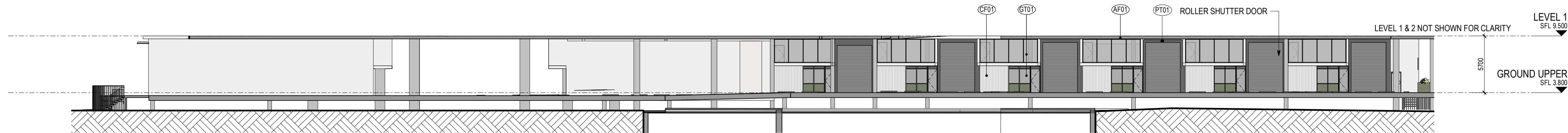




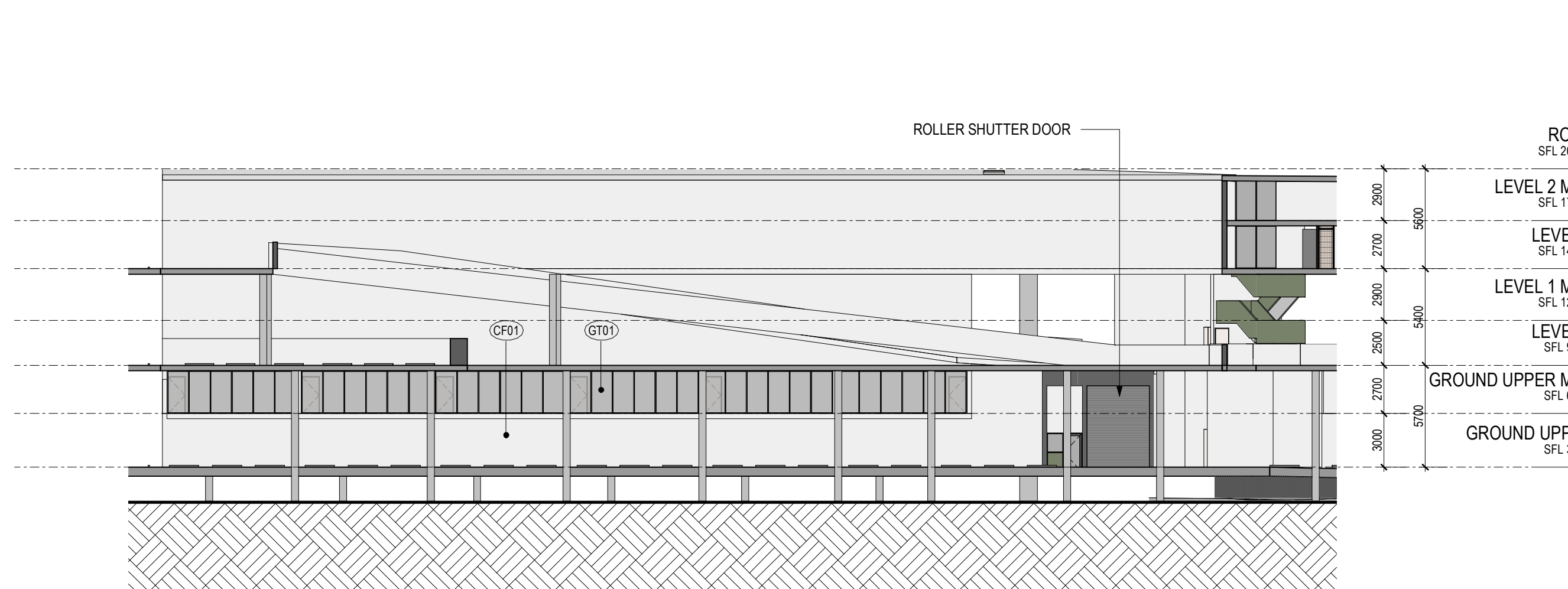
Elevation A



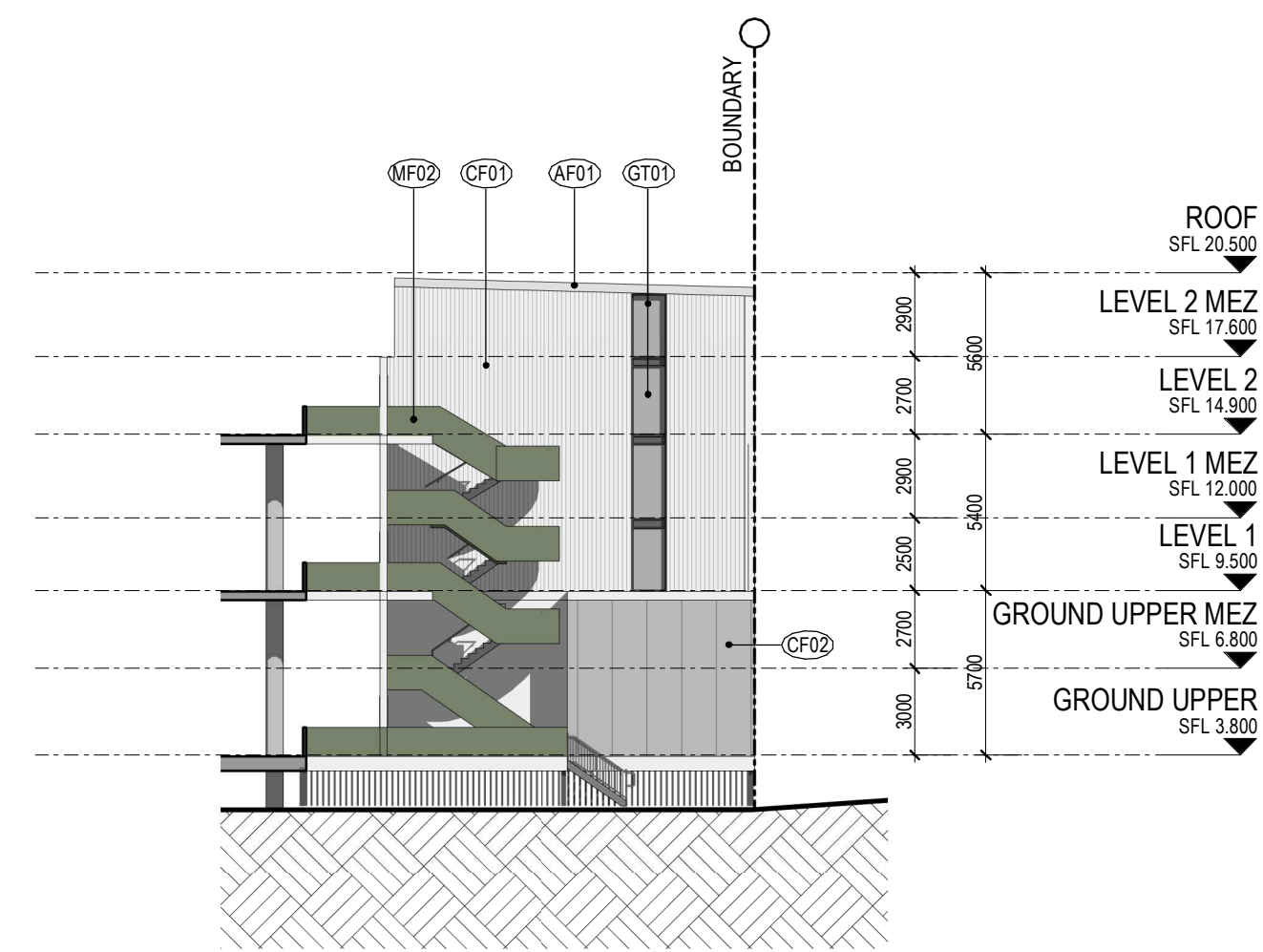
Elevation B



Elevation C



Elevation D



Elevation E

## DEVELOPMENT APPLICATION

Revisions / - 29.09.21 DA Submission JL

Project / Taren Point

Drawing / Elevations

Project No / 221038 Date / 29.09.21

Author / JL

Scale: @ A1 / 1 : 250

Drawing No. / TP02.03 -

72-78 Box Road, Taren Point

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### LEGEND

CF01 Concrete - Light	MF01 Charcoal Coloured Finish
CF02 Concrete - Grey	MF02 Green Coloured Finish
CS01 Charcoal Coloured Finish	PT01 Paint Finish - Charcoal
CS02 Bronze Coloured Finish	PT02 Paint Finish - Green
AF01 Applied Finish - Light Grey	PT03 Paint Finish - White
GT01 Glazing Clear	RF01 Metal Deck Roofing - Light Grey

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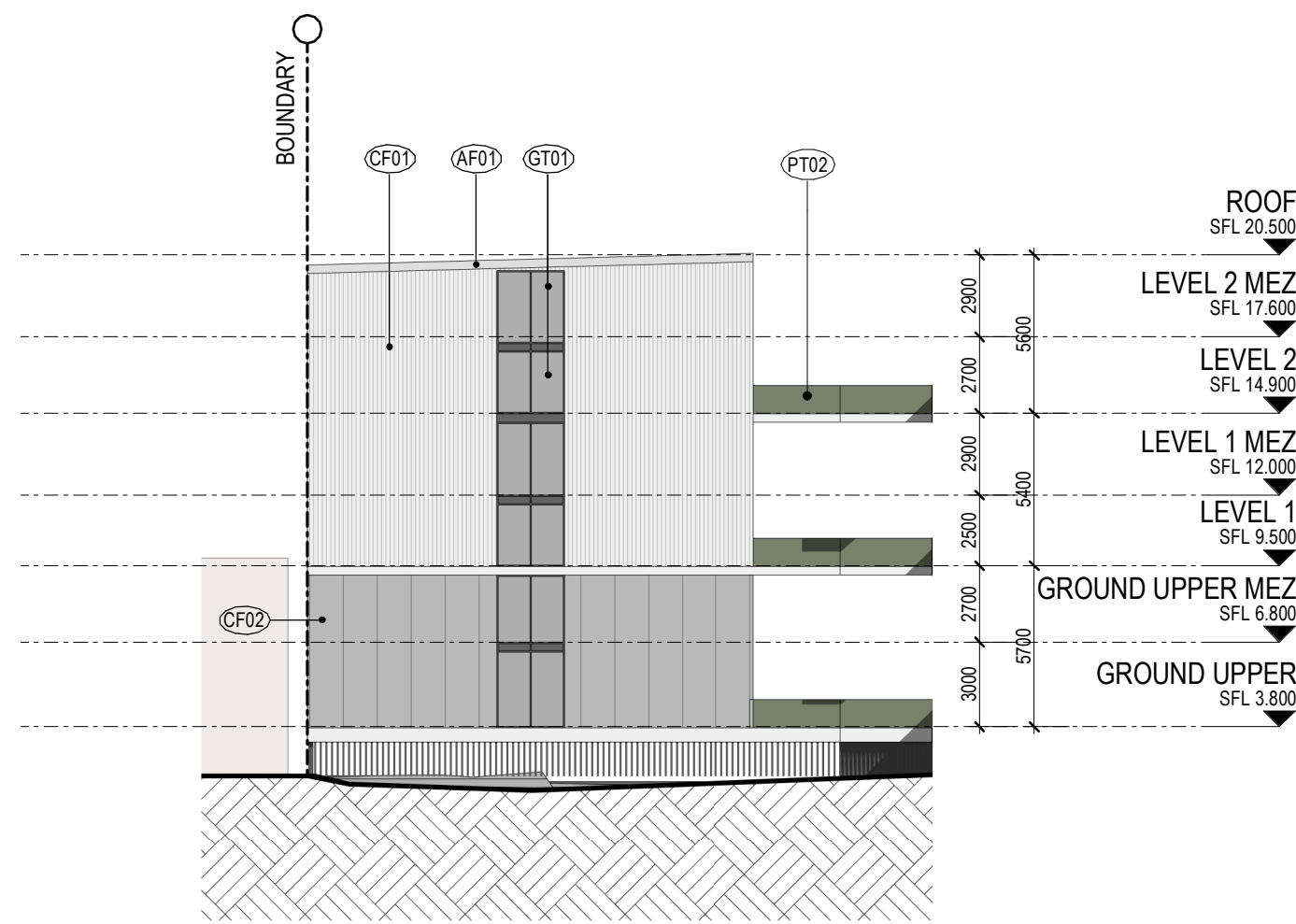
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Elevation F



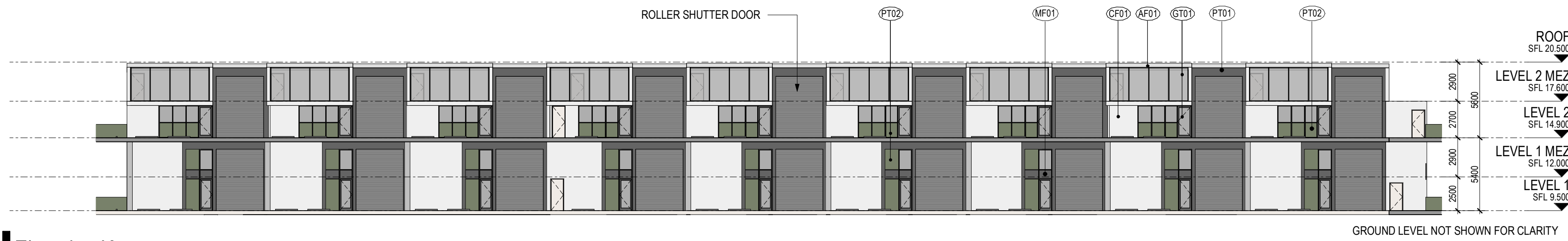
Elevation G



Elevation H



Elevation J



Elevation K

LEGEND			
CF01	Concrete - Light	MF01	Charcoal Coloured Finish
CF02	Concrete - Grey	MF02	Green Coloured Finish
CS01	Charcoal Coloured Finish	PT01	Paint Finish - Charcoal
CS02	Bronze Coloured Finish	PT02	Paint Finish - Green
AF01	Applied Finish - Light Grey	PT03	Paint Finish - White
GT01	Glazing Clear	RF01	Metal Deck Roofing - Light Grey

DEVELOPMENT APPLICATION

Revisions	-	29.09.21	DA Submission	JL
	A	04.04.22	Response To Council RFIs	JL

Project / **Taren Point**

Drawing / **Elevations**

Project No / **221038**

Date / **04.04.22**

Author / **JL**

Scale: @ A1 / **1 : 250**

Drawing No. / **TP02.04 A**

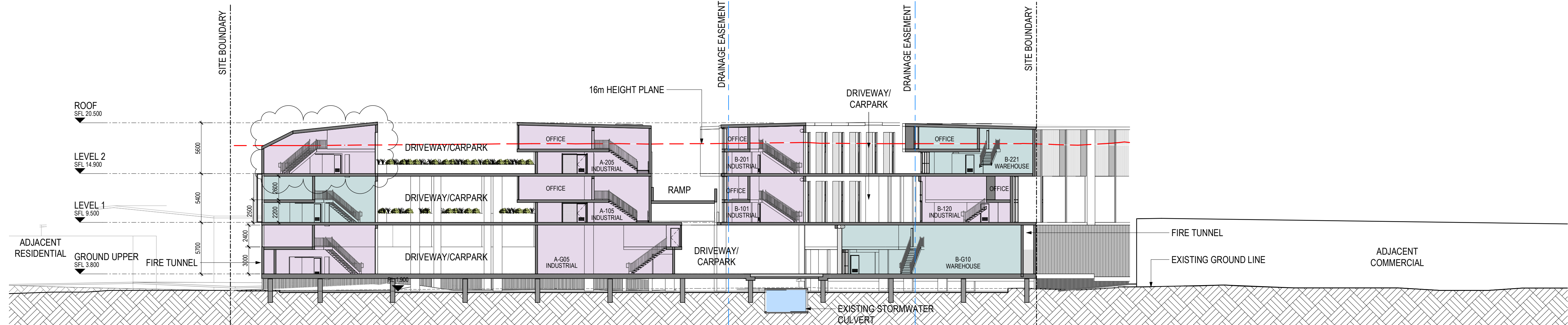
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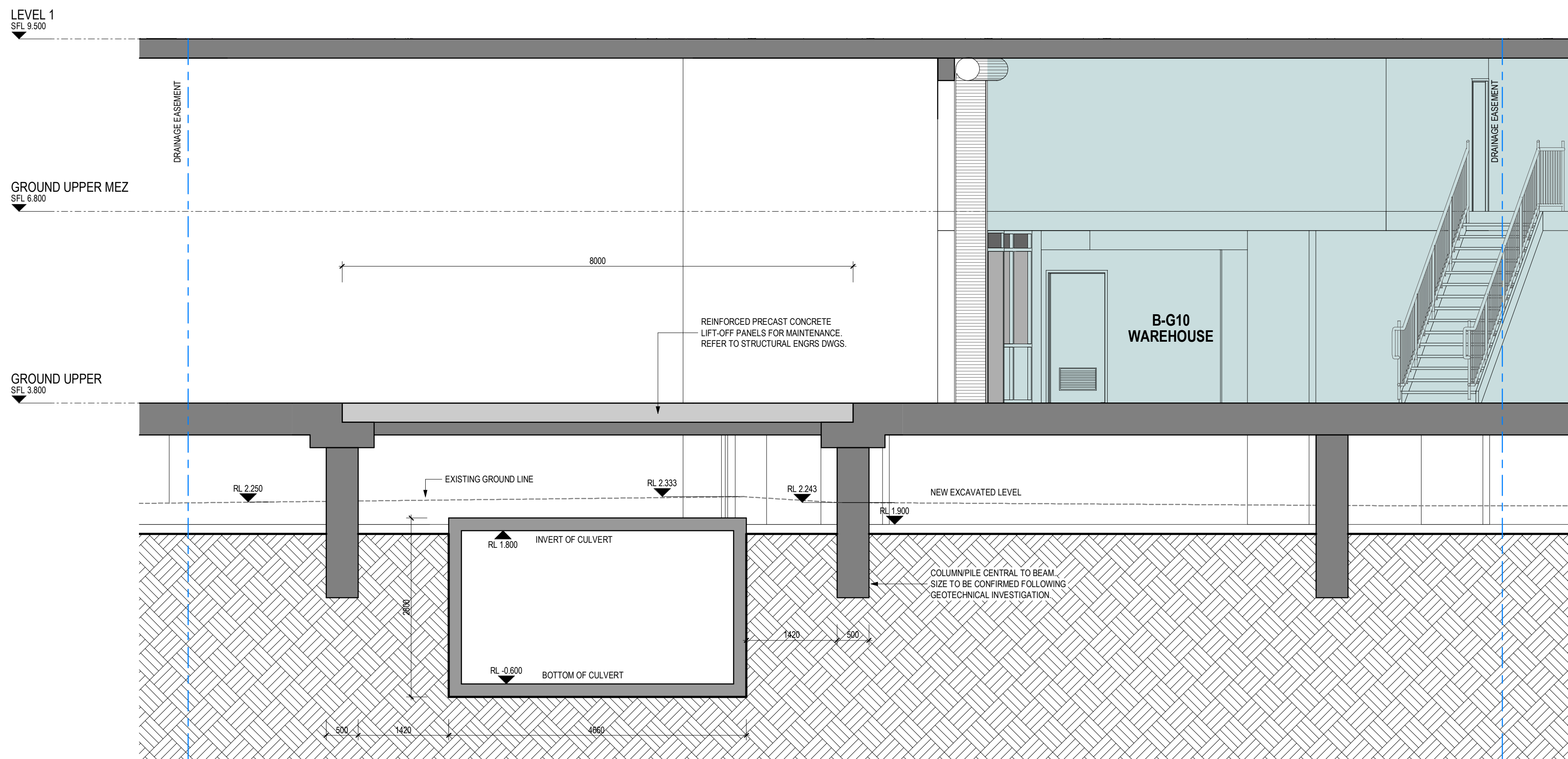
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1 Site Section 3  
SCALE 1 : 250



2 Culvert Section TP  
SCALE 1 : 50

LEGEND	
	INDUSTRIAL UNIT
	WAREHOUSE UNIT
	LOADING DOCK

## DEVELOPMENT APPLICATION

Revisions  
- 29.09.21 DA Submission  
A 04.04.22 Response To Council RFIs

JL  
JL

Project **Taren Point**

Drawing **Site Sections 02**

Project No **221038** Date **04.04.22**

Author **PM**

Scale: @ A1  
**As indicated**

Drawing No. **TP03.02 A**

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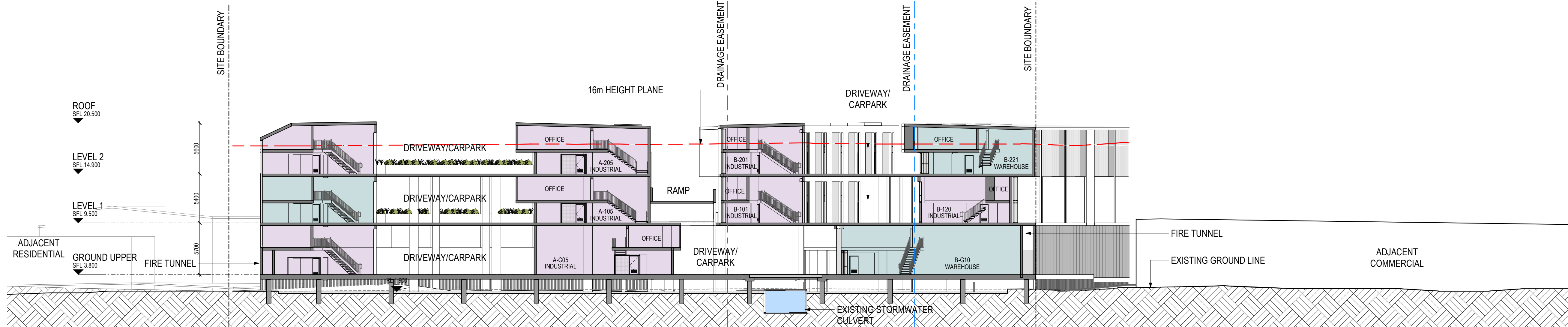
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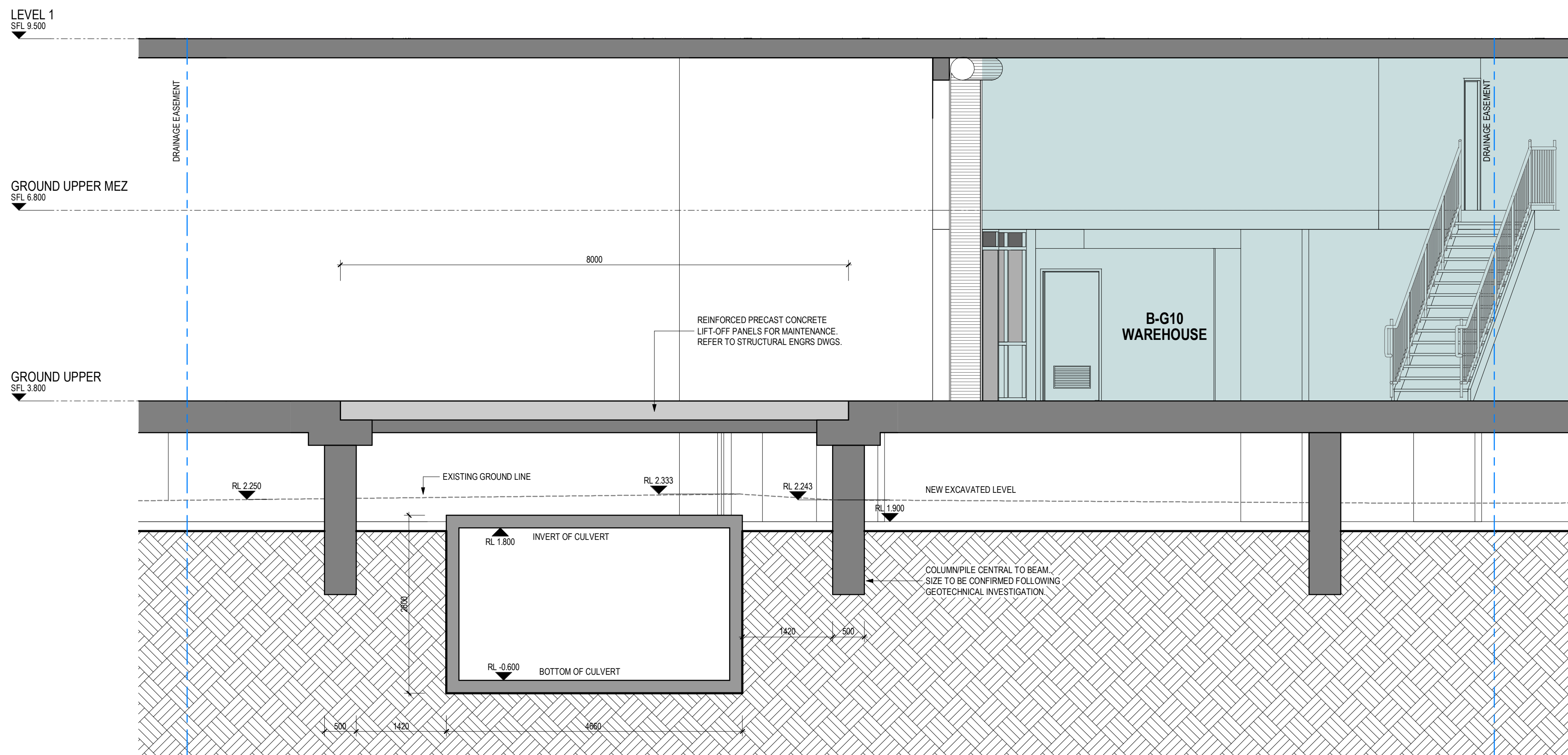
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1 Site Section 3  
SCALE 1 : 250



2 Culvert Section TP  
SCALE 1 : 50

**LEGEND**

- INDUSTRIAL UNIT
- WAREHOUSE UNIT
- LOADING DOCK

## DEVELOPMENT APPLICATION

Revisions / 29.09.21 DA Submission JL

Project / **Taren Point**

Drawing / **Site Sections 02**

Project No / **221038** Date / **29.09.21**

Author / **PM**

Scale: @ A1 / **As indicated**

Drawing No. / **TP03.02 -**

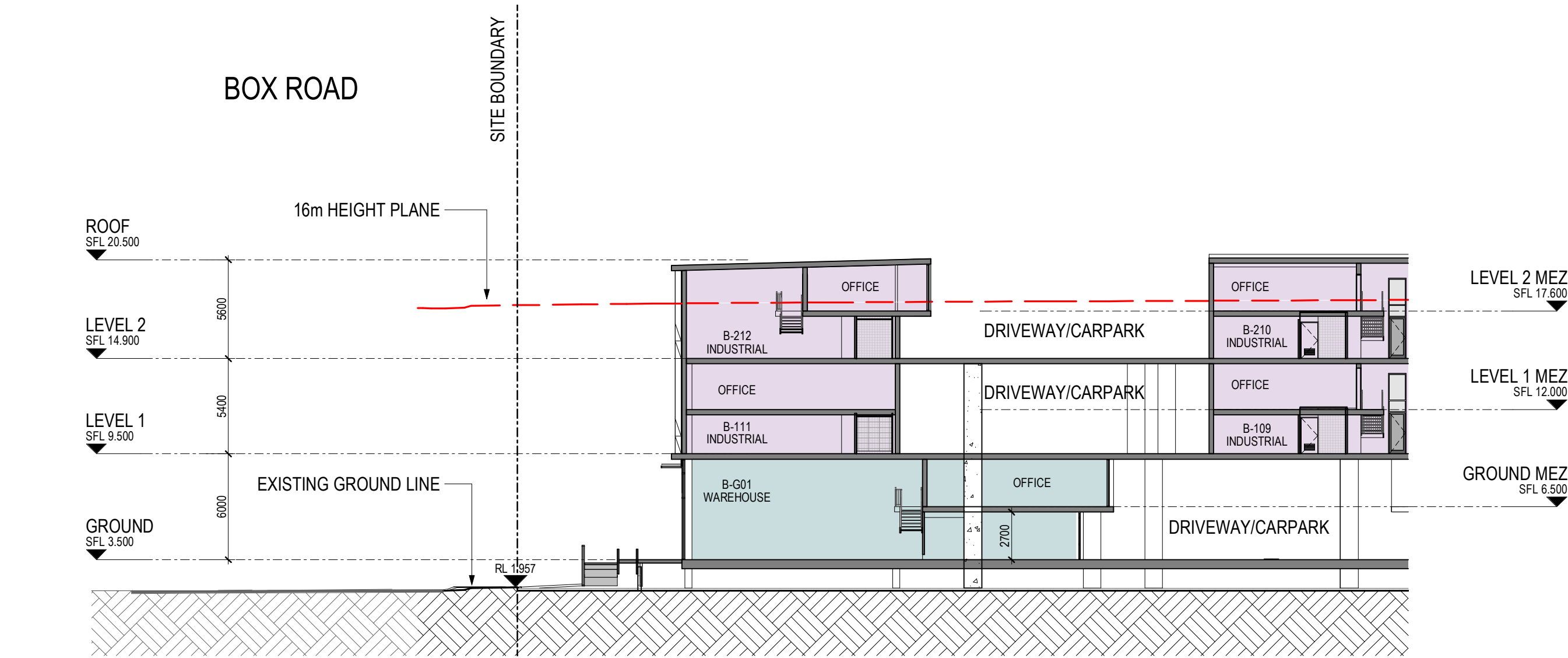
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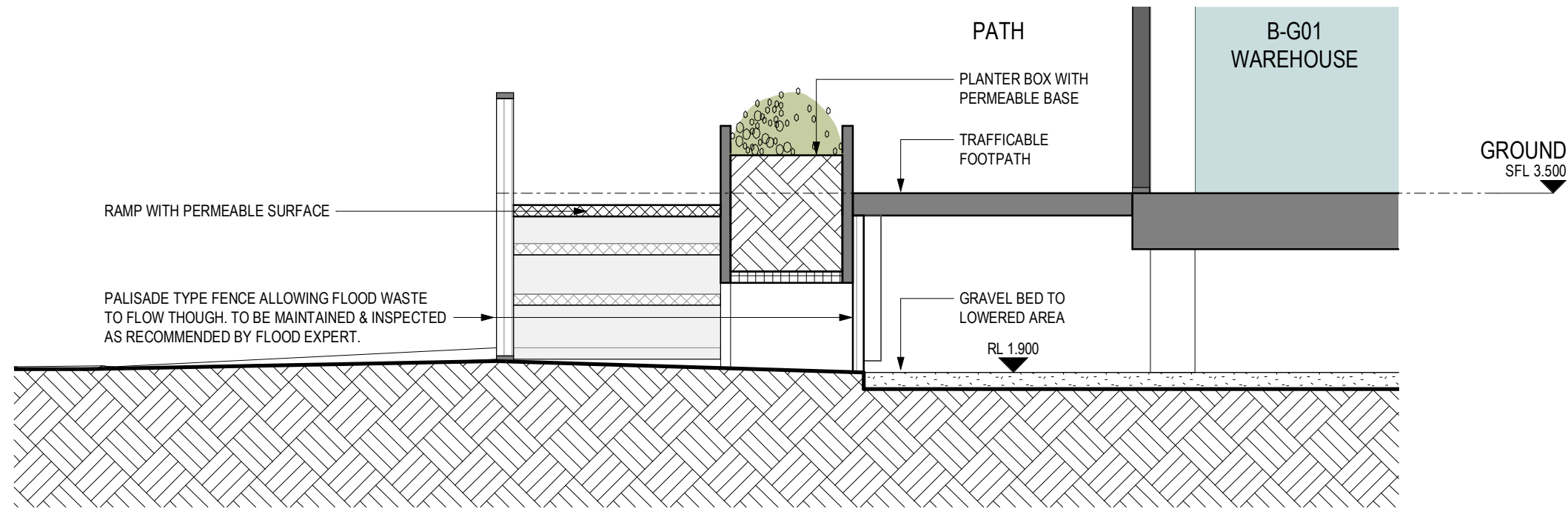
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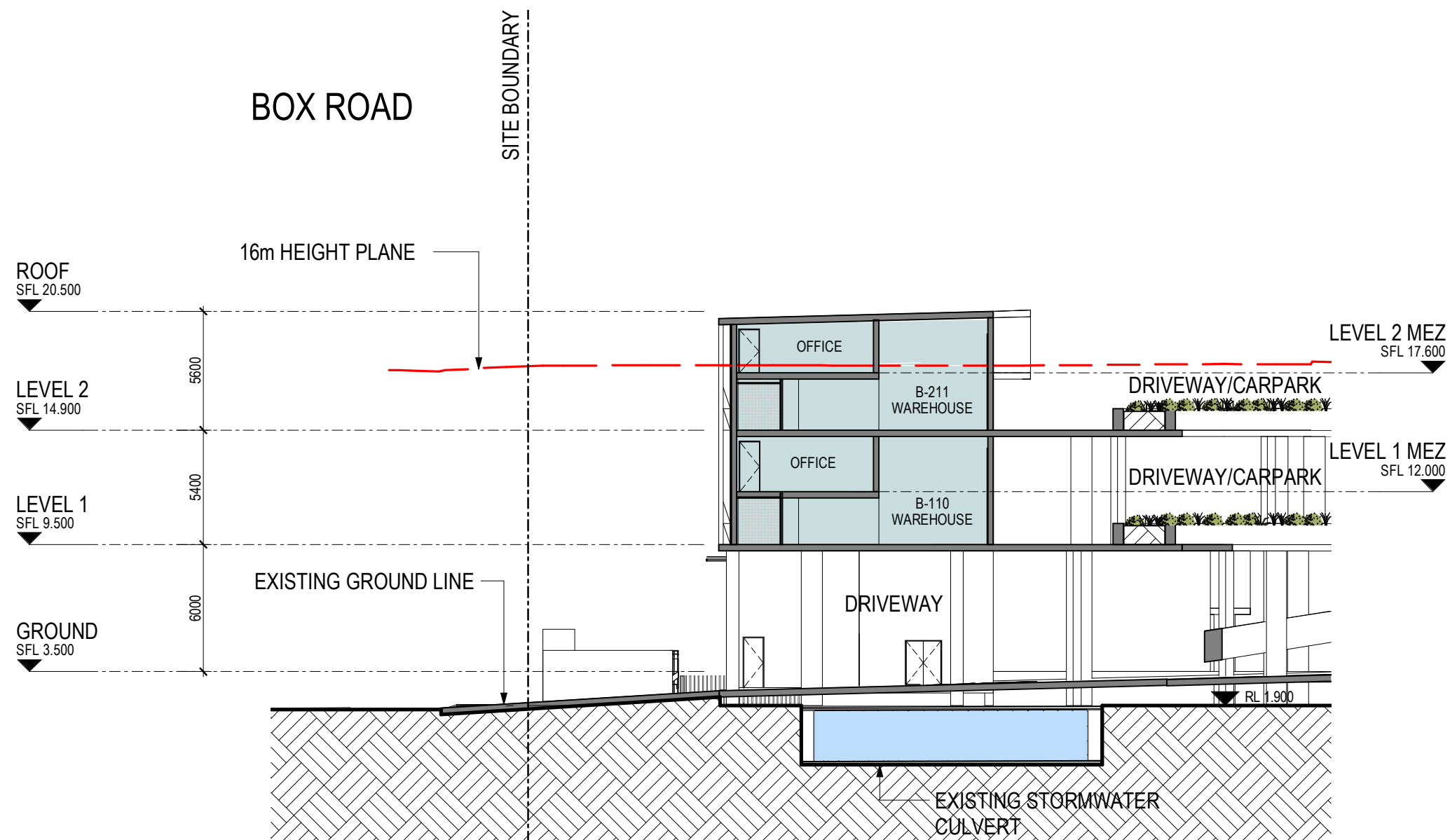




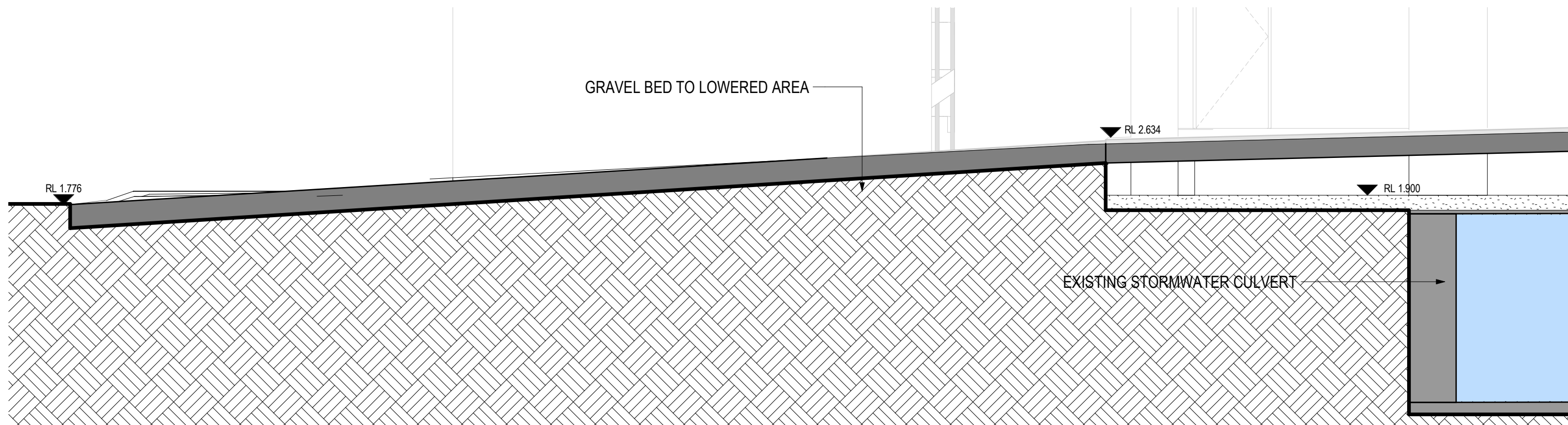
3 Site Section 5  
SCALE 1 : 250



4 Site Section 5 - Detail  
SCALE 1 : 50



1 Site Section 6  
SCALE 1 : 250



2 Site Section 6 - Detail  
SCALE 1 : 50

LEGEND	
	INDUSTRIAL UNIT
	WAREHOUSE UNIT
	LOADING DOCK

## DEVELOPMENT APPLICATION

Revisions / - 29.09.21 DA Submission JL

Project / Taren Point

Drawing / Site Sections 03

Project No / 221038

Date / 29.09.21

Author / PM

Scale: @ A1 / As indicated

Drawing No. / TP03.03 -

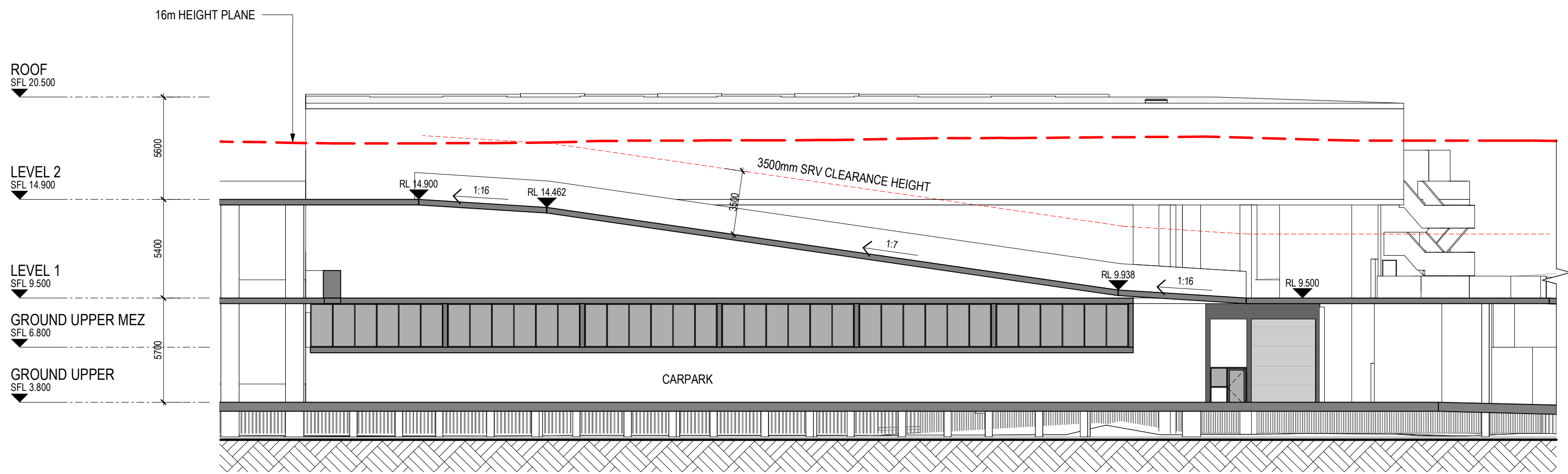
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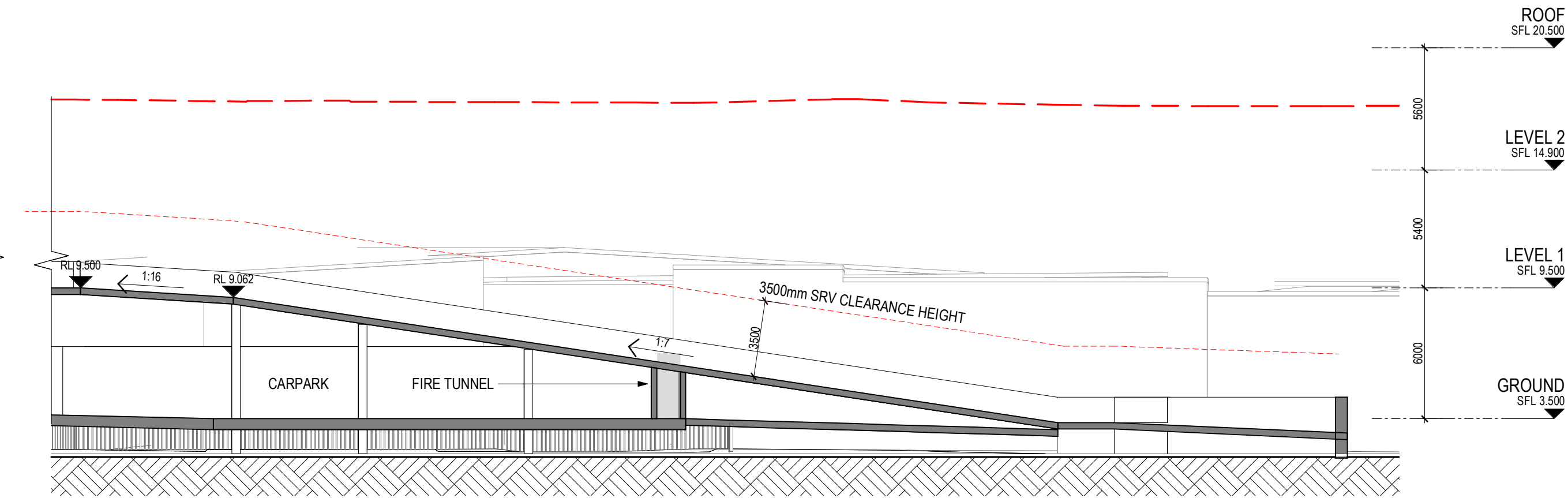
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1 Ramp Section 1  
TP01.03 SCALE 1 : 200



2 Ramp Section 2  
TP01.03 SCALE 1 : 200

DEVELOPMENT APPLICATION

Revisions / 29.09.21 DA Submission JL

Project / Taren Point

Drawing / Ramp Section

Project No / 221038 Date / 29.09.21

Author / Author Scale: @ A1 / 1 : 200

Drawing No. / TP03.04 -

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9AM - JUNE 22



10AM - JUNE 22



11AM - JUNE 22



12PM - JUNE 22

**LEGEND**

- EXISTING SHADOW CAST - NO ADDITIONAL IMPACTS IN THIS AREA
- COMPLIANT DCP ENVELOPE SHADOW LINE
- PROPOSED SHADOW LINE
- AREA OF SHADOW CAST REDUCED BETWEEN DCP & PROPOSED ENVELOPE
- ADDITIONAL SHADOW CAST DIFFERENCE BETWEEN DCP & PROPOSED ENVELOPE

**DEVELOPMENT APPLICATION**

Revisions / - 29.09.21 DA Submission  
A 04.04.22 Response To Council RFIs

JL  
JL

Project / **Taren Point**

Drawing / **Shadows**

Project No / **221038** Date / **04.04.22**

Author / **PM**

Scale: @ A1 / **As indicated**

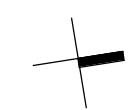
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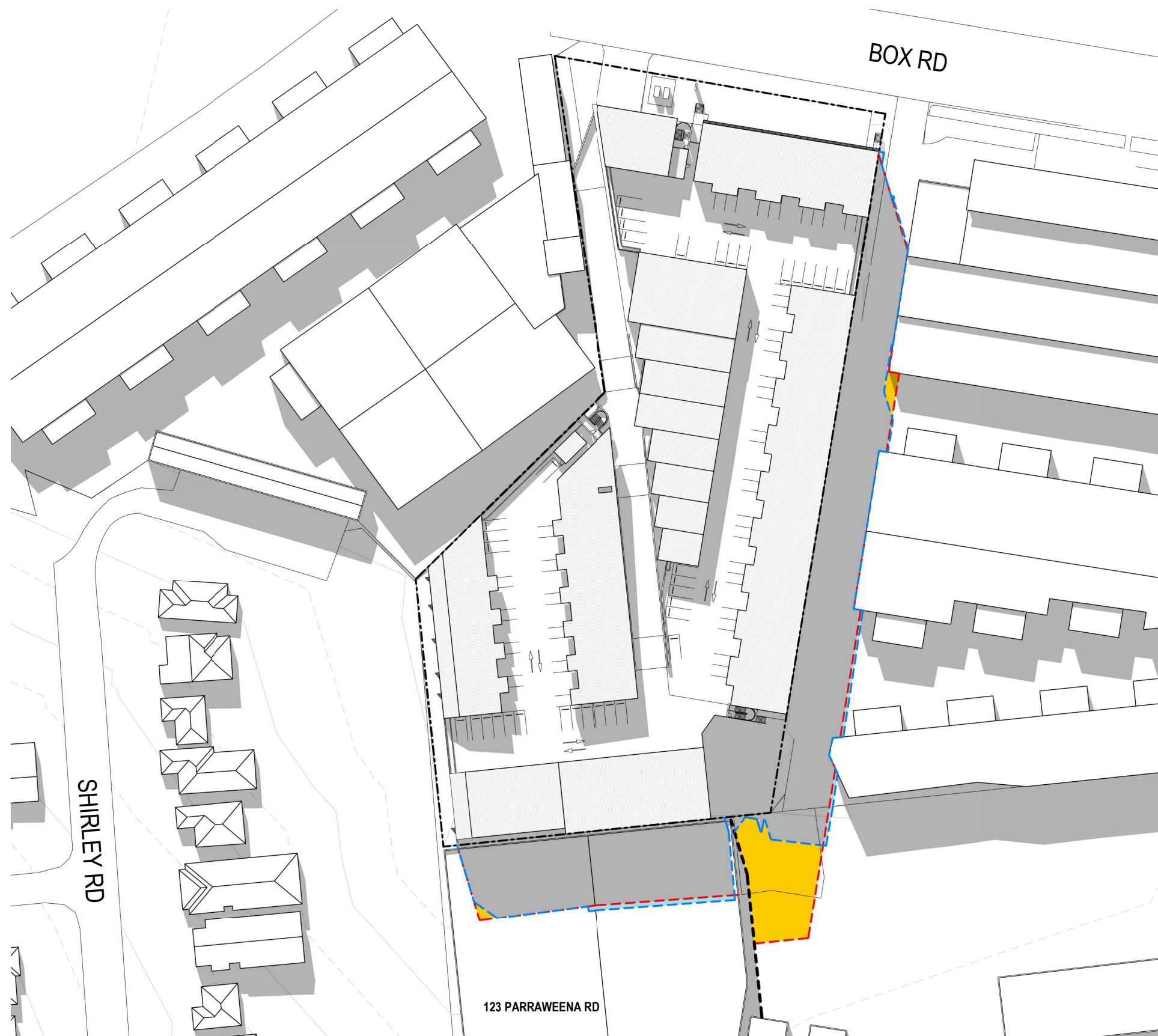
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1PM - JUNE 22



2PM - JUNE 22



3PM - JUNE 22

#### LEGEND

- EXISTING SHADOW CAST - NO ADDITIONAL IMPACTS IN THIS AREA
- - - - COMPLIANT DCP ENVELOPE SHADOW LINE
- - - - PROPOSED SHADOW LINE
- AREA OF SHADOW CAST REDUCED BETWEEN DCP & PROPOSED ENVELOPE
- ADDITIONAL SHADOW CAST DIFFERENCE BETWEEN DCP & PROPOSED ENVELOPE

## DEVELOPMENT APPLICATION

Revisions /  
- 29.09.21 DA Submission  
A 04.04.22 Response To Council RFIs

JL  
JL

Project /  
**Taren Point**

Drawing /  
**Shadows**

Project No /  
**221038**

Date /  
**04.04.22**

Author /  
**PM**

Scale: @ A1 /  
**As indicated**

Drawing No. /  
**TP04.02 A**

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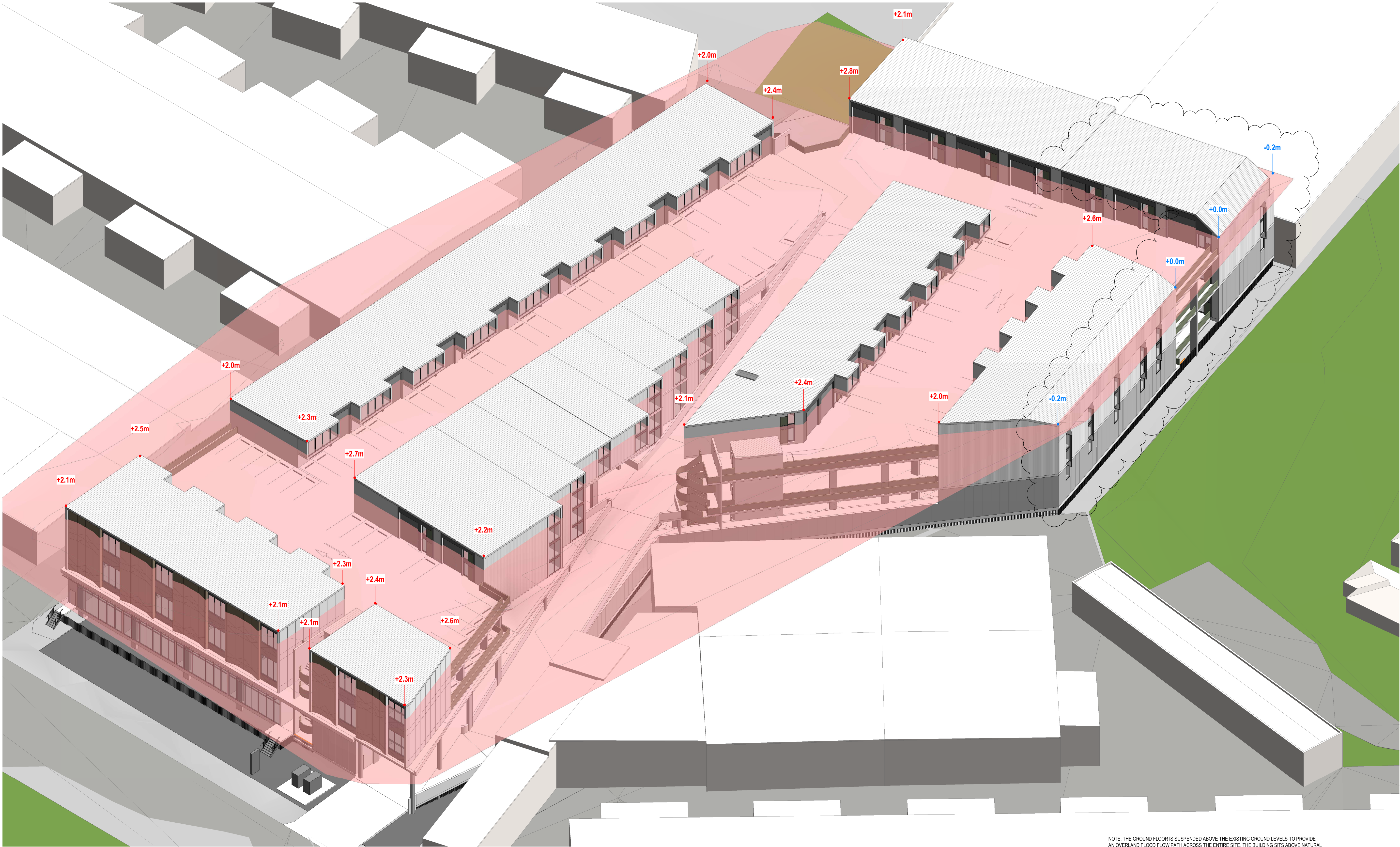
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NOTE: THE GROUND FLOOR IS SUSPENDED ABOVE THE EXISTING GROUND LEVELS TO PROVIDE AN OVERLAND FLOOD FLOW PATH ACROSS THE ENTIRE SITE. THE BUILDING SITS ABOVE NATURAL GROUND LEVEL BY APPROX. 1.7M. THE PROPOSED ENVELOP PROTRUDES THE HEIGHT PLANE PROPORTIONALLY.  
A HEIGHT OF BUILDING ANALYSIS DEMONSTRATES THE PROTRUSIONS ALONG THE BOUNDARY WALLS WITH NO ADVERSE IMPACTS TO NEIGHBORING DEVELOPMENTS

## DEVELOPMENT APPLICATION

Revisions  
- 29.09.21 DA Submission  
A 04.04.22 Response To Council RFIs

JL  
JL

Project  
**Taren Point**

Drawing  
**Height Encroachment**

Project No  
**221038**

Date  
**04.04.22**

Author  
**JL**

Scale: @ A1

Drawing No  
**TP04.03 A**

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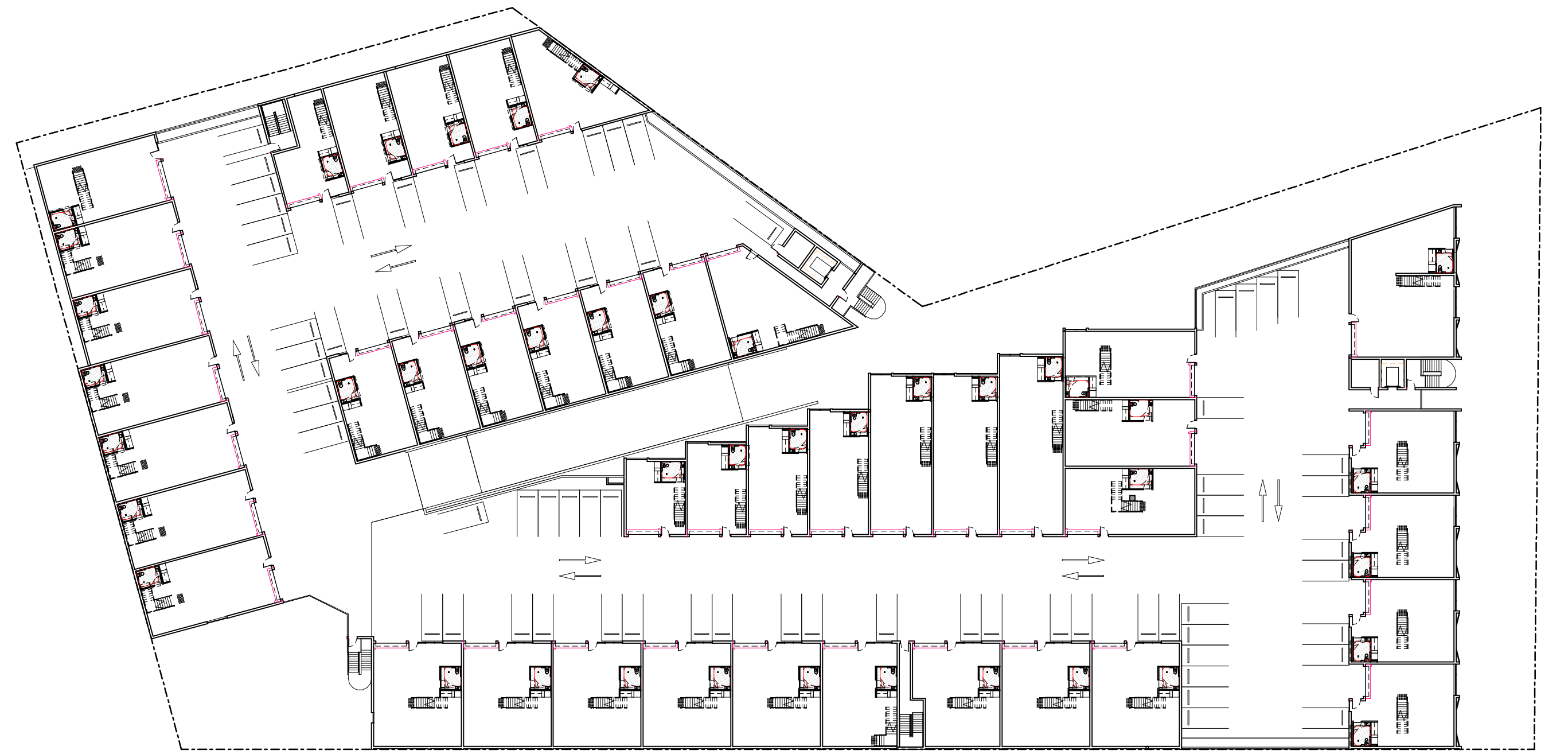
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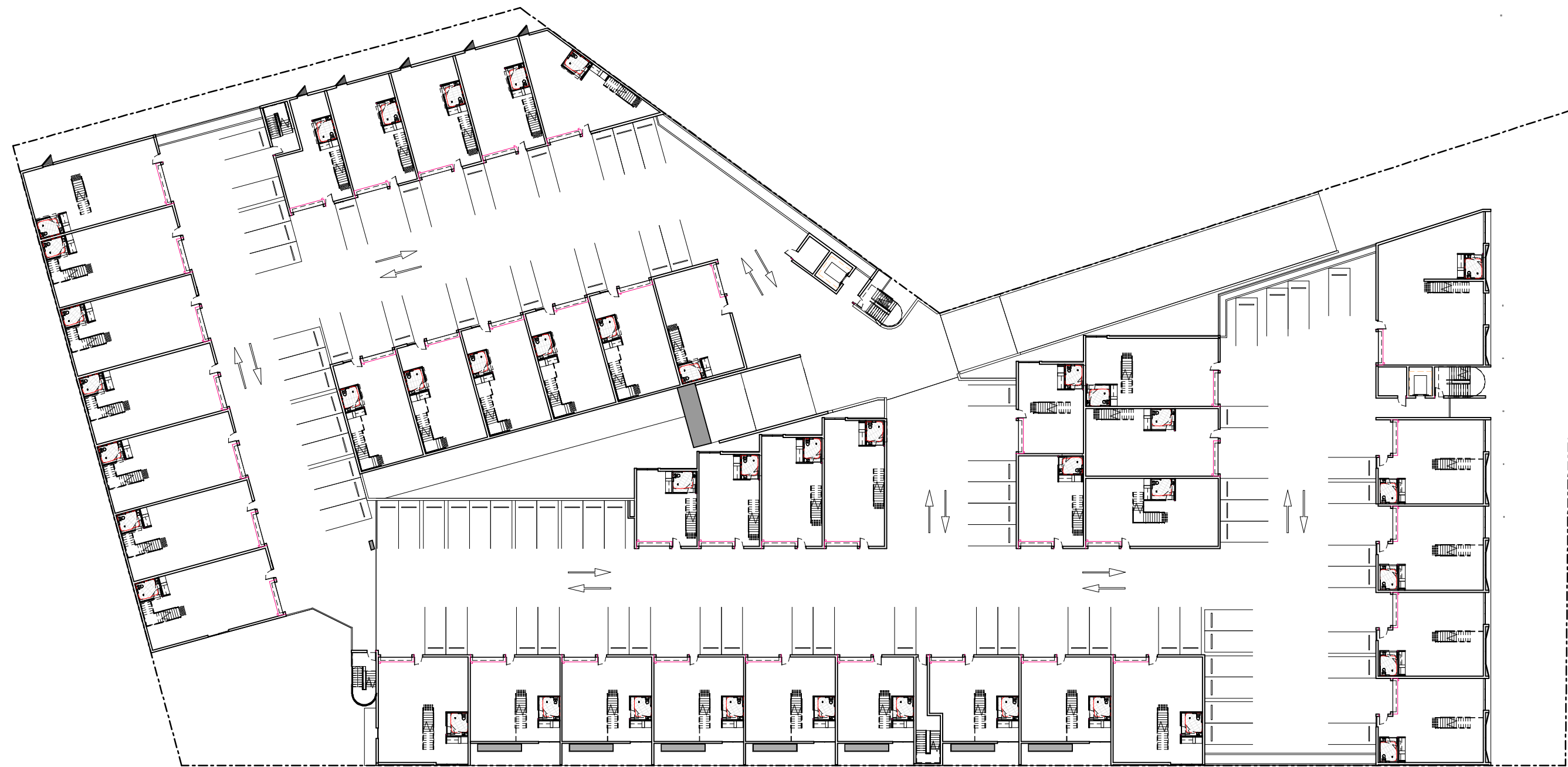




1 GROUND  
SK03.01 SCALE 1 : 500



3 LEVEL 2  
SK03.01 SCALE 1 : 500



2 LEVEL 1  
SK03.01 SCALE 1 : 500

LANDSCAPE AREA REQUIREMENT MIN. 10% OF TOTAL SITE AREA (1143.0m²)

Landscape Areas	
Level	Area
GROUND	1144.0 m²
	1144.0 m²

## DEVELOPMENT APPLICATION

Revisions  
- 29.09.21 DA Submission  
A 04.04.22 Response To Council RFIs

JL  
JL

Project  
Taren Point

Drawing  
Landscape Plan

Project No  
221038

Date  
04.04.22

Author  
JL

Scale: @ A1  
1 : 500

Drawing No.  
TP05.01 A

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LEVEL	INDUSTRIAL / WAREHOUSE / SHOWROOM	UNITS		TOTAL UNITS
		INDUSTRIAL	WAREHOUSE	
GROUND	785.8 m²	0	4	4
GROUND UPPER	3546.9 m²	14	14	28
GROUND MEZ	369.9 m²	0	0	0
GROUND UPPER MEZ	1067.0 m²	0	0	0
LEVEL 1	4087.5 m²	32	9	41
LEVEL 1 MEZ	1380.4 m²	0	0	0
LEVEL 2	4600.9 m²	29	14	43
LEVEL 2 MEZ	1459.4 m²	0	0	0
	17297.7 m²	75	41	116

## GROUND LEVEL UNITS SCHEDULE

UNIT NUMBER	UNIT TYPE	AREA
A-G01		
A-G01	INDUSTRIAL	107.6 m²
A-G01	OFFICE	34.6 m²
		142.2 m²

A-G02		
A-G02	INDUSTRIAL	107.6 m²
A-G02	OFFICE	34.6 m²
		142.2 m²

A-G03		
A-G03	INDUSTRIAL	107.6 m²
A-G03	OFFICE	34.6 m²
		142.2 m²

A-G04		
A-G04	INDUSTRIAL	107.6 m²
A-G04	OFFICE	34.6 m²
		142.2 m²

A-G05		
A-G05	INDUSTRIAL	107.6 m²
A-G05	OFFICE	34.6 m²
		142.2 m²

A-G06		
A-G06	INDUSTRIAL	107.6 m²
A-G06	OFFICE	34.6 m²
		142.2 m²

A-G07		
A-G07	INDUSTRIAL	78.2 m²
A-G07	OFFICE	31.9 m²
		110.1 m²

UNIT NUMBER	UNIT TYPE	AREA
A-G08		
A-G08	INDUSTRIAL	76.9 m²
A-G08	OFFICE	29.1 m²
		106.0 m²

A-G09		
A-G09	INDUSTRIAL	79.0 m²
A-G09	OFFICE	38.8 m²
		117.8 m²

A-G10		
A-G10	INDUSTRIAL	79.0 m²
A-G10	OFFICE	38.8 m²
		117.8 m²

A-G11		
A-G11	INDUSTRIAL	79.0 m²
A-G11	OFFICE	38.8 m²
		117.8 m²

A-G12		
A-G12	INDUSTRIAL	65.2 m²
A-G12	OFFICE	21.9 m²
		87.1 m²

A-G13		
A-G13	INDUSTRIAL	118.2 m²
A-G13	OFFICE	37.0 m²
		155.2 m²

A-G14		
A-G14	WAREHOUSE	117.9 m²
A-G14	OFFICE	46.8 m²
		164.6 m²

UNIT NUMBER	UNIT TYPE	AREA
A-G15		
A-G15	WAREHOUSE	117.9 m²
A-G15	OFFICE	46.8 m²
		164.6 m²

A-G16		
A-G16	WAREHOUSE	117.9 m²
A-G16	OFFICE	46.9 m²
		164.7 m²

A-G17		
A-G17	WAREHOUSE	117.9 m²
A-G17	OFFICE	46.9 m²
		164.7 m²

A-G18		
A-G18	WAREHOUSE	117.9 m²
A-G18	OFFICE	46.9 m²
		164.8 m²

A-G19		
A-G19	WAREHOUSE	117.9 m²
A-G19	OFFICE	46.9 m²
		164.7 m²

B-G01		
B-G01	WAREHOUSE	203.3 m²
B-G01	OFFICE	53.1 m²
		256.4 m²

B-G02		
B-G02	WAREHOUSE	203.6 m²
B-G02	OFFICE	53.5 m²
		257.1 m²

UNIT NUMBER	UNIT TYPE	AREA
B-G03		
B-G03	WAREHOUSE	203.3 m²
B-G03	OFFICE	53.6 m²
		256.8 m²

B-G04		
B-G04	WAREHOUSE	175.7 m²
B-G04	OFFICE	40.3 m²
		216.0 m²

B-G05		
B-G05	WAREHOUSE	179.8 m²
B-G05	OFFICE	56.7 m²
		236.5 m²

B-G06		
B-G06	WAREHOUSE	177.5 m²
B-G06	OFFICE	56.5 m²
		234.1 m²

B-G07		
B-G07	OFFICE	56.1 m²
B-G07	WAREHOUSE	171.0 m²
		227.0 m²

B-G08		
B-G08	WAREHOUSE	245.6 m²
B-G08	OFFICE	68.5 m²
		314.0 m²

B-G09		
B-G09	WAREHOUSE	225.3 m²
B-G09	OFFICE	68.1 m²
		293.5 m²

UNIT NUMBER	UNIT TYPE	AREA
B-G10		
B-G10	WAREHOUSE	197.1 m²
B-G10	OFFICE	60.0 m²
		257.1 m²

B-G11		
B-G11	WAREHOUSE	168.8 m²
B-G11	OFFICE	63.3 m²
		229.1 m²

B-G12		
B-G12	WAREHOUSE	140.9 m²
B-G12	OFFICE	42.4 m²
		183.3 m²

B-G13		
B-G13	INDUSTRIAL	112.6 m²
B-G13	OFFICE	42.7 m²
		155.3 m²

## UNITS WITH MRV ACCESS

ALL UNITS HAVE SRV ACCESS AT MINIMUM

Unit Number	MRV Access
B-G01	Yes
B-G02	Yes
B-G03	Yes
B-G05	Yes
B-G06	Yes
B-G13	Yes

## LEVEL 1 UNITS SCHEDULE

UNIT NUMBER	UNIT TYPE	AREA
A-101		
A-101	OFFICE	24.2 m²
A-101	INDUSTRIAL	88.8 m²
		113.0 m²

A-102		
A-102	OFFICE	24.2 m²
A-102	INDUSTRIAL	88.8 m²
		113.0 m²

A-103		
A-103	OFFICE	24.2 m²
A-103	INDUSTRIAL	88.8 m²
		113.0 m²

A-104		
A-104	OFFICE	24.2 m²
A-104	INDUSTRIAL	88.8 m²
		113.0 m²

A-105		
A-105	OFFICE	24.2 m²
A-105	INDUSTRIAL	88.8 m²
		113.0 m²

A-106		
A-106	INDUSTRIAL	88.8 m²
A-106	OFFICE	34.5 m²
		123.3 m²

A-107		
A-107	INDUSTRIAL	101.1 m²
A-107	OFFICE	29.2 m²
		130.3 m²

A-108		
A-108	INDUSTRIAL	88.8 m²
A-108	OFFICE	33.0 m²
		121.8 m²

A-109		
A-109	INDUSTRIAL	88.8 m²
A-109	OFFICE	33.0 m²
		121.8 m²

A-110		
A-110	OFFICE	33.0 m²
A-110	INDUSTRIAL	88.8 m²
		121.8 m²

UNIT NUMBER	UNIT TYPE	AREA
A-111		
A-111	INDUSTRIAL	70.7 m²
A-111	OFFICE	18.7 m²
		89.4 m²

A-112		
A-112	OFFICE	37.0 m²
A-112	INDUSTRIAL	118.2 m²
		155.2 m²

A-113		
A-113	OFFICE	46.7 m²
A-113	WAREHOUSE	117.9 m²
		164.6 m²

A-114		
A-114	OFFICE	46.7 m²
A-114	WAREHOUSE	117.9 m²
		164.6 m²

A-115		
A-115	OFFICE	46.8 m²
A-115	WAREHOUSE	117.9 m²
		164.7 m²

A-116		
A-116	OFFICE	46.8 m²
A-116	WAREHOUSE	117.9 m²
		164.7 m²

A-117		
A-117	OFFICE	46.9 m²
A-117	WAREHOUSE	117.9 m²
		164.7 m²

A-118		
A-118	OFFICE	46.8 m²
A-118	WAREHOUSE	117.9 m²
		164.7 m²

B-101		
B-101	OFFICE	15.7 m²
B-101	INDUSTRIAL	57.5 m²
		73.2 m²

B-102		
B-102	OFFICE	25.2 m²
B-102	INDUSTRIAL	70.4 m²
		95.5 m²

UNIT NUMBER	UNIT TYPE	AREA
B-103		
B-103	OFFICE	27.2 m²
B-103	INDUSTRIAL	83.3 m²
		110.5 m²

B-104		
B-104	OFFICE	27.2 m²
B-104	INDUSTRIAL	96.2 m²
		123.4 m²

B-105		
B-105	INDUSTRIAL	74.7 m²
B-105	OFFICE	22.2 m²
		96.9 m²

B-106		
B-106	INDUSTRIAL	74.1 m²
B-106	OFFICE	29.4 m²
		103.5 m²

B-107		
B-107	OFFICE	28.6 m²
B-107	INDUSTRIAL	114.1 m²
		142.7 m²

B-108		
B-108	OFFICE	27.2 m²
B-108	INDUSTRIAL	114.1 m²
		141.2 m²

B-109		
B-109	OFFICE	28.4 m²
B-109	INDUSTRIAL	114.1 m²
		142.4 m²

B-110		
B-110	OFFICE	42.7 m²
B-110	WAREHOUSE	180.5 m²
		223.2 m²

B-111		
B-111	OFFICE	42.2 m²
B-111	INDUSTRIAL	104.9 m²
		147.1 m²

B-112		
B-112	OFFICE	42.2 m²
B-112	INDUSTRIAL	104.9 m²
		147.1 m²

UNIT NUMBER	UNIT TYPE	AREA
B-113		
B-113	OFFICE	42.2 m²
B-113	INDUSTRIAL	104.9 m²
		147.1 m²

B-114		
B-114	OFFICE	42.2 m²
B-114	INDUSTRIAL	104.9 m²
		147.1 m²

B-115		
B-115	OFFICE	42.8 m²
B-115	WAREHOUSE	120.2 m²
		163.0 m²

B-116		
B-116	OFFICE	33.3 m²
B-116	INDUSTRIAL	96.0 m²
		129.2 m²

B-117		
B-117	INDUSTRIAL	91.2 m²
B-117	OFFICE	33.3 m²
		124.5 m²

B-118		
B-118	INDUSTRIAL	81.7 m²
B-118	OFFICE	32.3 m²
		114.0 m²

B-119		
B-119	INDUSTRIAL	96.0 m²
B-119	OFFICE	33.3 m²
		129.2 m²

B-120		
B-120	OFFICE	33.3 m²
B-120	INDUSTRIAL	96.0 m²
		129.2 m²

B-121		
B-121	OFFICE	33.3 m²
B-121	INDUSTRIAL	96.0 m²
		129.2 m²

B-122		
B-122	OFFICE	33.3 m²
B-122	INDUSTRIAL	96.0 m²
		129.2 m²

UNIT NUMBER	UNIT TYPE	AREA
B-123		
B-123	OFFICE	42.8 m²
B-123	WAREHOUSE	120.2 m²
		163.0 m²

UNIT NUMBER	UNIT TYPE	AREA
A-201		
A-201	INDUSTRIAL	88.8 m²
A-201	OFFICE	24.5 m²
		113.3 m²

A-202		
A-202	INDUSTRIAL	88.8 m²
A-202	OFFICE	24.5 m²
		113.3 m²

A-203		
A-203	INDUSTRIAL	88.8 m²
A-203	OFFICE	24.5 m²
		113.3 m²

A-204		
A-204	INDUSTRIAL	88.8 m²
A-204	OFFICE	24.5 m²
		113.3 m²

A-205		
A-205	INDUSTRIAL	88.8 m²
A-205	OFFICE	24.5 m²
		113.3 m²

A-206		
A-206	INDUSTRIAL	88.8 m²
A-206	OFFICE	24.5 m²
		113.3 m²

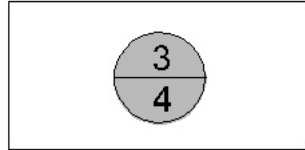
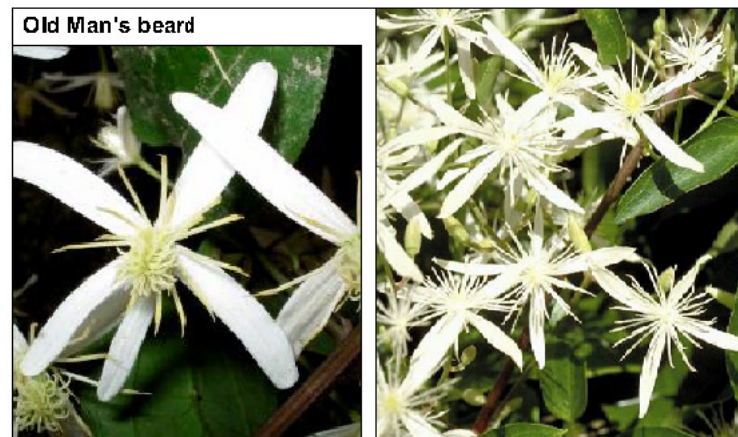
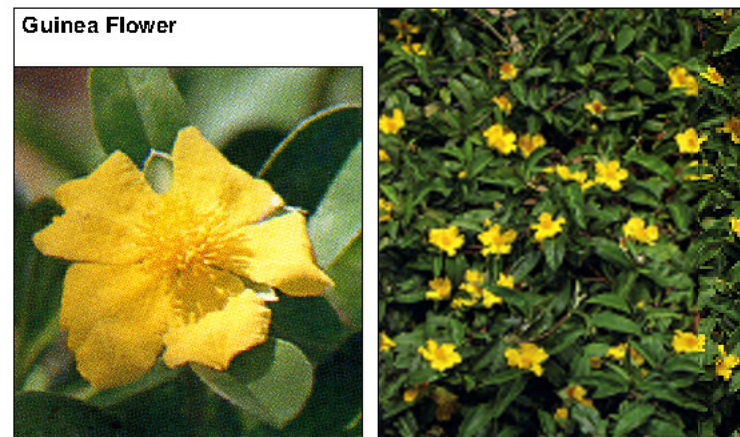
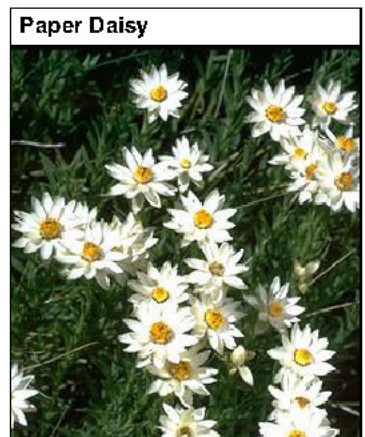
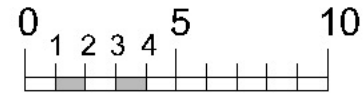
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A-207	OFFICE	29.7 m²
		139.1 m²

A-208		
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A-208	OFFICE	29.7 m²
		130.7 m²

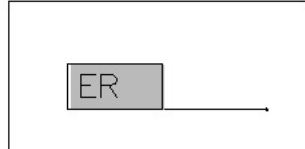








Detail #  
Sheet 4



Planting symbol (See  
schedule, sheet 4)

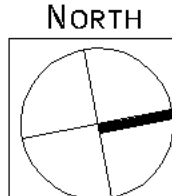
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D	4.4.2022
C	30.9.2021
B	30.9.21
A	18.9.21



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DATE: 4.4.22 SCALE: 1:250 @A1  
JOB REF: 21/2306

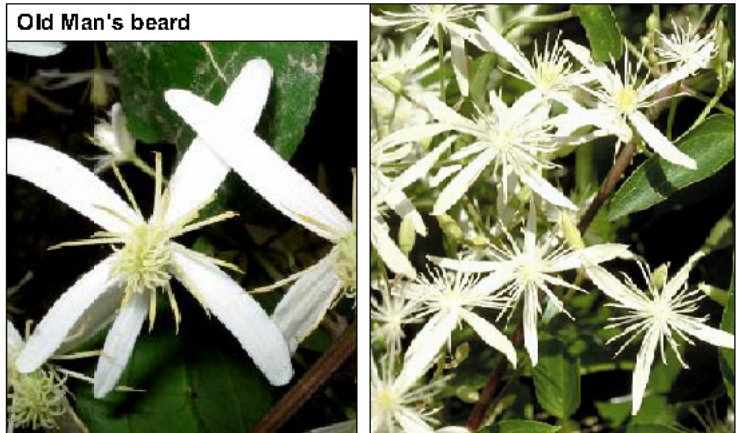
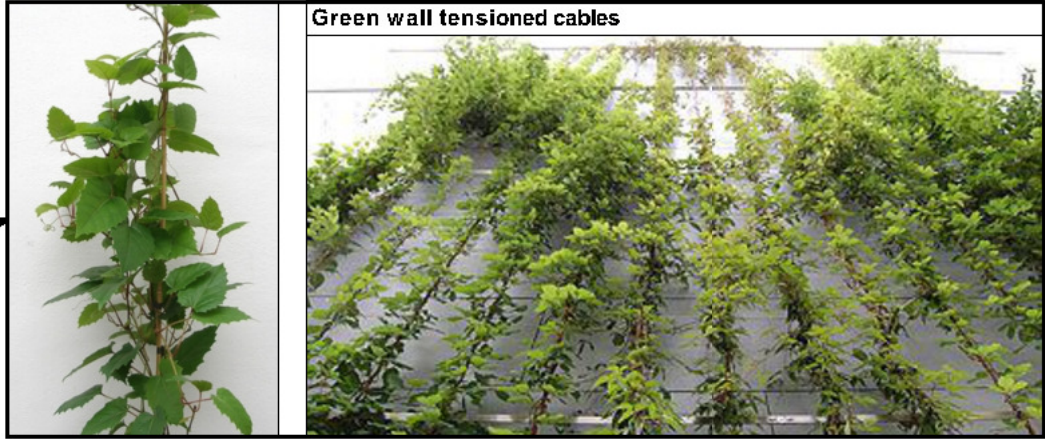
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ISSUE-D





3  
4

Detail #  
Sheet 4

ER

Planting symbol (See  
schedule, sheet 4)

AMENDMENTS

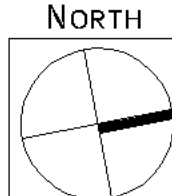
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C	30.9.2021	
B	30.9.21	-
A	18.9.21	-



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ISSUE-D



Planting schedule

Tree species and most understory species generally selected from Sutherland Shire Council Environmental Specification: Locality guidelines  
Taren Point Road and Taren Point Employment Area locality

Symbol	Botanical name	Common name	Cont. size	Staking	Mature height	No req.
<b>Trees</b>						
ALT	Alcasuarina littoralis	Black She-Oak (Tall narrow hardy screen tree)	75Lt	3x50x50x1800	10-13.0M	7
ANO	Angophora costata	Sydney Red Gum (large native tree. Striking bark colour)	45Lt	3x50x50x1800	16-25.0M	1
ASM	Acmena smithii	Lilly Pilly (Native tree in dep soil. Prune lower branches)	75Lt	3x50x50x1800	8-10.0M	1
BIN	Banksia integrifolia	Coast Banksia (hardy native tree common in local area)	200Lt	3x50x50x1800	15-18.0M	3
CAG	Casuarina glauca	Swamp Oak (med native tree vertical habit)	45Lt	3x50x50x1800	12-15.0M	5
BAS	Banksia serrata	Old Man Banksia (medium indigenous tree)	45Lt	3x50x50x1800	12-15.0M	1
ER	Elaeocarpus reticulatus	Blueberry Ash (indigenous small tree)	300mm	2x50x50x1800	6-8.0M	3
MLQ	Melaleuca quinquenervia	Flax Leaf Paperbark (Native street tree to supplement existing)	75Lt	4x50x50x1800	12-15.0M	6
TLL	Tristaniopsis laurina 'Luscious'	Water Gum cultivar (indigenous small-med tree)	75Lt	3x50x50x1800	5-7.0M	1
<b>Shrubs / small feature trees</b>						
CVE	Callistemon citrinus 'Endeavor'	Endeavor Crismson Bottlebrush (Flowering native smal tree)	300mm	nil	3-4.0M	8
SYR	Syzygium 'Resilience'	Resilience Lilly Pilly (native screen plant. Can be hedged)	300mm	hedged	2.8-3.5M	4
WF	Westringia fruticosa	Coastal Rosemary (native shrub. Can be informally hedged)	300mm	hedged	1.5-2.0M	6
<b>Ferns / Palms / Succulents / ornamental bamboos</b>						
CAA	Cyathea australis	Tree Fern (Native tree ferns)	200mm	nil	2-4.0M	12
DOE	Doryanthea excelsior	Gymea Lilly (striking palm like). Tall red flower on spike)	300mm	nil	1.5-2.0M	2
LAV	Livistona australis	Cabbage Palm (tall indigenous palm)	semi adv	wire guys	8-12.0M	3
RHA	Raphis excelsior	Lady Finger Palm	300mm	nil	2-2.5M	24
<b>Groundcovers/Climbers</b>						
CIS	Cissus antarctica	Kangaroo Vine (Hardy native climber n vertical cables	300mm	Vertical cables	0.3M	64
CLA	Clematis aristata	Old Mans Beard (native flowering climber / groundcover)	200mm	wire supports on fence	0.3M	20
CRG	Carpobrotus glaucescens	Pigface (very hardy salt wind tolerant trailing groundcover)	140mm	nil	0.2M	32
VH	Viola hederacea	Native Violets (native low groundcover)	tubes	nil	0.1M	100
<b>Ornamental grasses/strappy leaved plants</b>						
DIC	Dianella caerulea	Blue Flax Lily (blue foliage native grass like plant)	100mm	nil	0.4M	170
LIM	Liriope Evergreen Giant	Turf Lily (shade tolerant groundcover)	150mm	nil	0.4M	60
LOT	Lomandra 'Tanika'	Dwarf Mat Rush (native mass planted groundcover)	140mm	nil	0.4M	40
LOM	Lomandra longifolia	Spiny Mat Rush (Tall hardy grass like clumping plant)	200mm	nil	1-1.2M	35

Planting schedule species to be sourced from local nurseries supplying plants of local provenance wherever possible. Landscape contractor is to check plant numbers on plan against the schedule prior to submitting tender price. Contact landscape architect if any number discrepancies are found. Council compliance controls require that any substitution of species variety or container size MUST be confirmed with landscape architect to ensure a compliance certificate can be issued that's meets the specific development consent conditions of the project.

Proposed plant species assemblage to supplement the Swamp Oak trees located in the south western corner surrounding the existing tidally influenced drainage channel

In addition to the supplemental proposed *Casuarina glauca* (swamp oaks) nominated on sheet 1 additional plantings are to include selected species including "...*Alternanthera denticulata* (lesser joyweed), *Baumea juncea* (bare twig rush), *Cynodon dactylon* (sand couch), *Juncus kraussii subsp. australiensis* (sea rush), *Phragmites australis* (common reed), *Samolus repens* (creeping brook or bushweed), *Selliera radicans* (swamp weed), and *Suaeda australis* (austral seablite)."

Source: <http://www.environment.gov.au/biodiversity/threatened/communities/pubs/141-conservation-advice>  
Environment Protection and Biodiversity Conservation Act 1999 (EPBC Act) (s266B)  
Conservation advice (incorporating listing advice) for the Coastal Swamp Oak (Casuarina glauca) Forest of New South Wales and South East Queensland ecological community. Section 2.3.3

General installation notes

**1.Site preparation**  
Any existing trees and vegetation to be retained shall be preserved and protected from damage of any sort during the execution of landscape work. In particular, root systems of existing plants must not be disturbed if possible. Any nearby site works should be carried carefully using hand tools. To ensure the survival and growth of existing trees during landscaping works, protect by fencing or arming where necessary. Trees shall not be removed or logged unless specific written approval to do so is given or is indicated on plan. Storage of materials, mixing of materials, vehicle parking, disposal of liquids, machinery repairs and refueling, site office and sheds, and the lighting of fires shall not occur within three (3) metres of any existing trees. Do not stockpile soil, rubble or other debris cleared from the site, or building materials, within the dripline of existing trees. Vehicular access shall not be permitted within three (3) metres of any tree.

**2. Soil preparation**  
All proposed planting areas to be deep ripped to 200mm (where possible) and clay soils to be treated with clay breaker. Apply at least 200mm depth good quality garden soil mix to all garden planting areas. To comply with AS 4419 Turfed areas as noted to be laid over 100mm min. good quality turf underlay over existing soil which is to be deep ripped to 200mm depth prior to installation. To be worked in with rotary hoe except where tree root damage would otherwise occur. In such situations care to be taken to hand cultivate in any area where existing tree roots exist to preserve health of trees and to comply with the requirements of the Arborist's report. Where planting is to occur in existing soil profiles ensure soil conditioners and compost worked into the top 200mm profile. To comply with AS 4454:1999 .

**3. New plantings**  
Newly planted trees and large shrubs should be secured to stakes with hessian ties to prevent rocking by wind. Planting holes for plant material should be large enough in size to take root ball with additional space to take back filling of good quality planting mix. (Please note mature heights of planting as shown on planting schedule can vary due to site conditions, locations in constricted deep soil or over slab planters and so forth) Also shallow soils in certain locations may affect planting heights. Nominated heights for plantings in raised planters over slabs are nominated as less than their normal expected heights in acknowledgement of the contained soil environment. For other deep soil trees heights are subject to particular site conditions, and intended hedging or pruning for functional requirements such as available planting width, intended access under branches and solar access.

**4. Planter wall waterproofing.**  
All slab areas to be waterproofed and 'Atlantis' drainage cell installed with geotextile fabric or similar approved. Refer Engineer's details for ALL structural, drainage and installation details whatsoever for wall construction. All raised gardens to have the following soils:  
• Benedicts Smart Mix no. 4 Lightweight Planter Mix (or approved equivalent) to min. 400-500mm depth.. To comply with AS 4419 and AS 3743  
• All planter boxes are to have automatic dripline irrigation system.  
• Landscape contractor to install all planter box fill material and plant material after other site works are completed to ensure no deterioration of waterproof membrane behind external walls.

**5. Mulching**  
All planting areas to be mulched with a minimum 75mm thick cover of recycled hard wood chip mulch and then all plant areas to be thoroughly soaked with water. To comply with AS 4454

**6. Fertiliser**  
All planting areas to be fertilised with 9 month 'NPK' slow release fertiliser.

**7. Staking**  
To those plants indicated on the planting schedules provide: hardwood stakes as nominated and driven into ground to a depth able to achieve rigid support. No staking in raiser planters to avoid damaging waterproofing installation

**8. Turfing**  
Turfed areas to be to be laid over 100mm good quality turf underlay over existing soil which is to be deep ripped to 200mm depth prior to installation. See details sheet

**9. Structural**  
All structural details whatsoever to Engineer's details.

Irrigation notes

Automatic drip line watering system to be selected. To extend to ALL raised planters over slab areas only as noted on individual sheets 1-4.

Water supply tap hosecocks and water supply conduit to be coordinated by Hydraulic and Structural Engineer's details). Dripline supply system only to be incorporated.

Prior to approval by the project manager and prior to installation the Contractor responsible for the irrigation installation is to provide an irrigation design to meet the following requirements.

Generally: Supply an automatic drip line irrigation system. To include all piping to solenoids either PVC lines and/or class 12 pressure pipe or low density, rubber modified polypropylene reticulation as required to provide water supply to the nominated areas. To be coordinated with Hydraulic engineers plans. To include all bends, junctions, ends, ball valves, solenoids and all other ancillary equipment. Backwash valve: An approved backwash prevention valve is to be located at the primary water source for top up valves to rainwater tanks (where applicable).

Ensure rain sensor is installed for common area garden zones connected to automatic timer system.

**Root inhibiting system.** Driplines to be 'Netafim Techline AS XR' drip tubing or approved equivalent

**Automatic Controller:** For all common area landscape areas provide automatic 2 week timer with hourly multi-cycle operation for each zone as noted on the irrigation areas plan on sheet. Battery timers to isolated planter boxes to private terraces.

**Performance:** It shall be the Landscape Contractor's responsibility to ensure and guarantee satisfactory operation of the irrigation system. The system is to be fit for the purpose and should utilize sufficient solenoids to provide for the varying watering requirements of landscape areas to allow all plants and lawn areas to thrive and attain long term viability.

**Testing:** After the system has been installed to the satisfaction of the project manager, the installation shall be tested under working conditions. Acceptance of the installed plant and equipment shall be subject to these being satisfactory.

**Warranty:** A twelve month warranty is to be provided in writing by the Landscape Contractor, which shall commit the Landscape Contractor to rectify the system (the items they have installed) to the satisfaction of the project manager or nominated representative. This will apply should any fault develop, or the capacity or efficiency fall below that guaranteed, or should the discharge or pressure be inadequate, or should defects develop in the filter unit or control heads, or any blockages that may develop in the system.

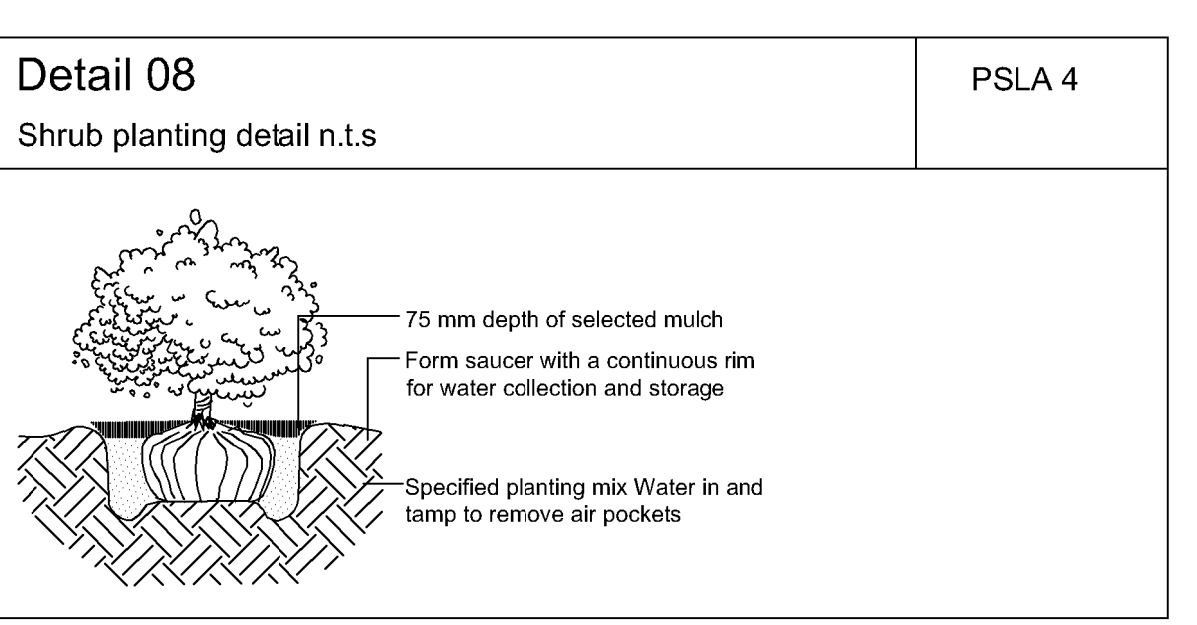
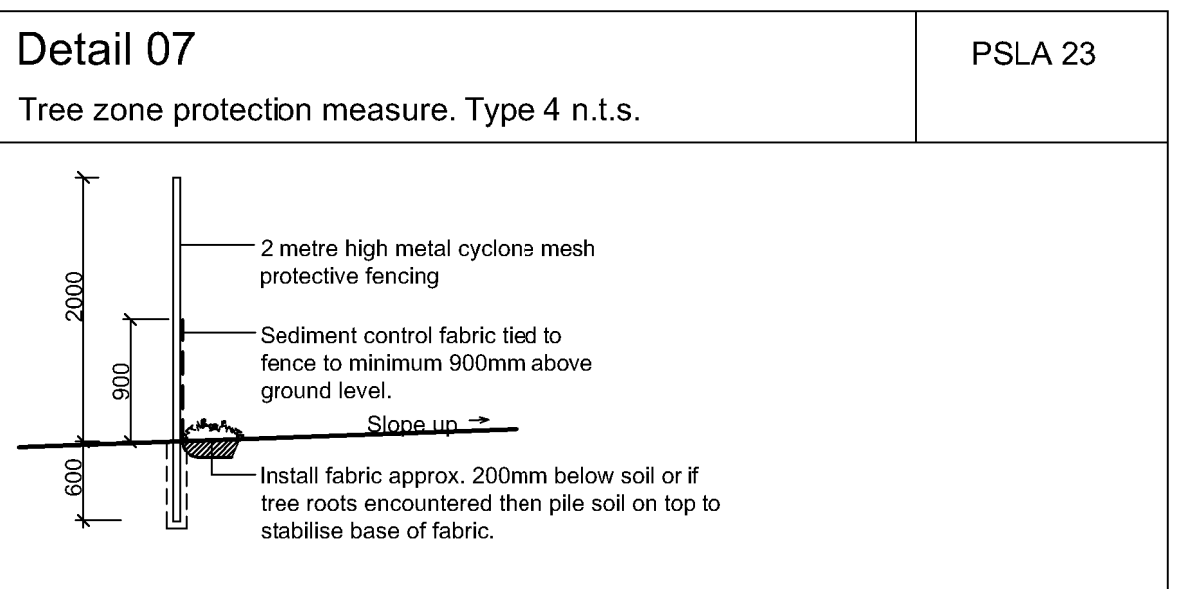
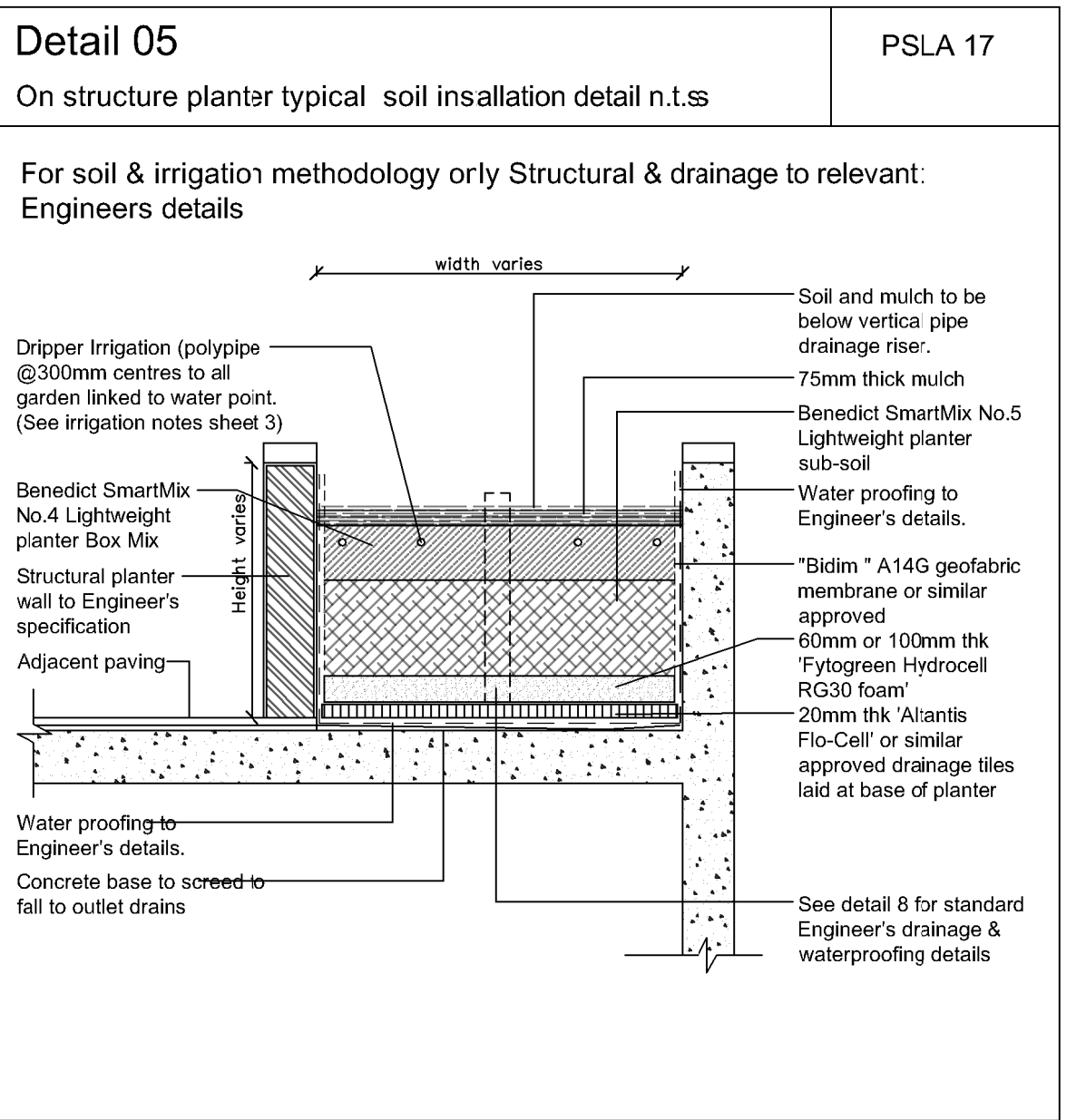
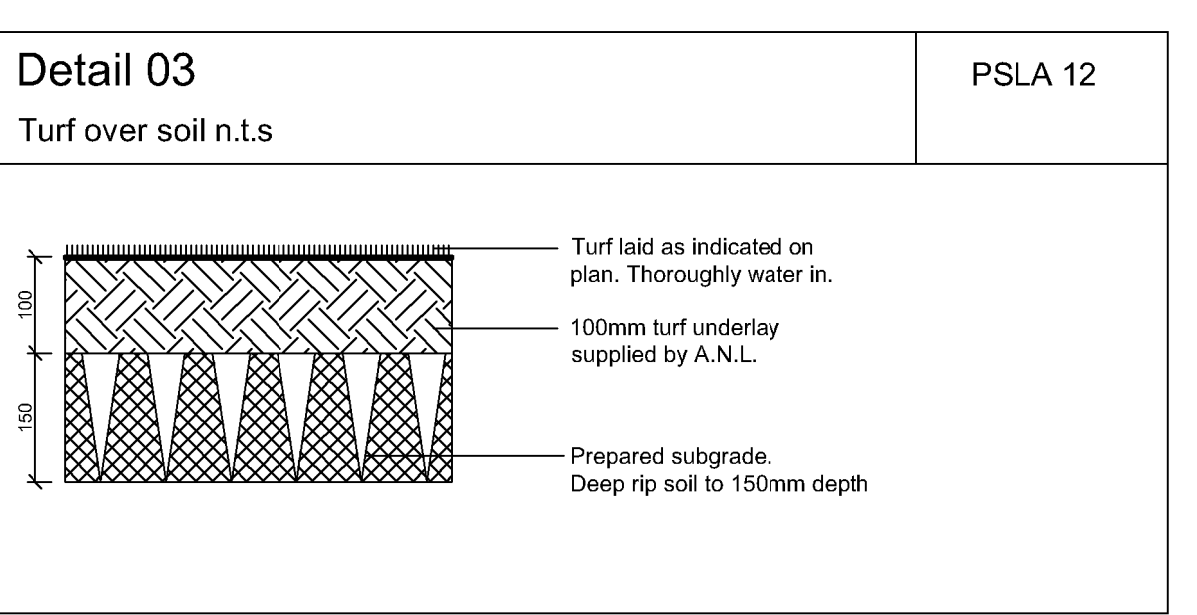
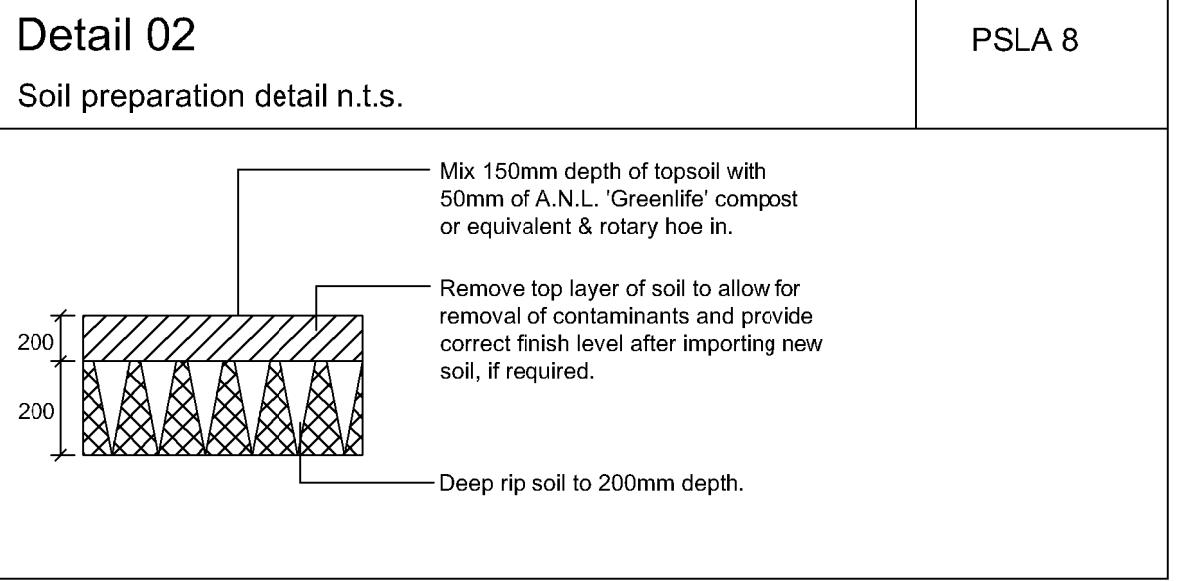
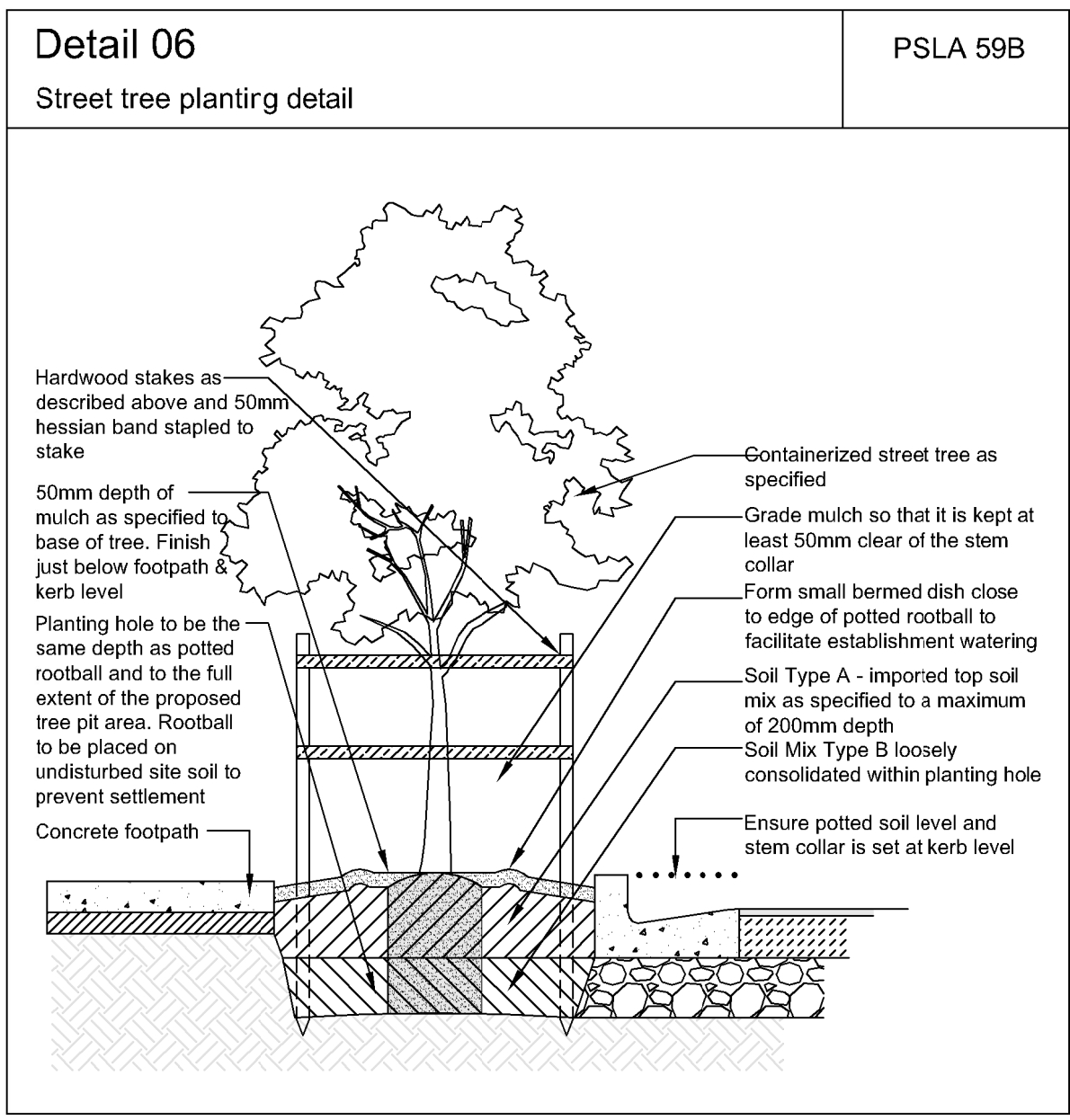
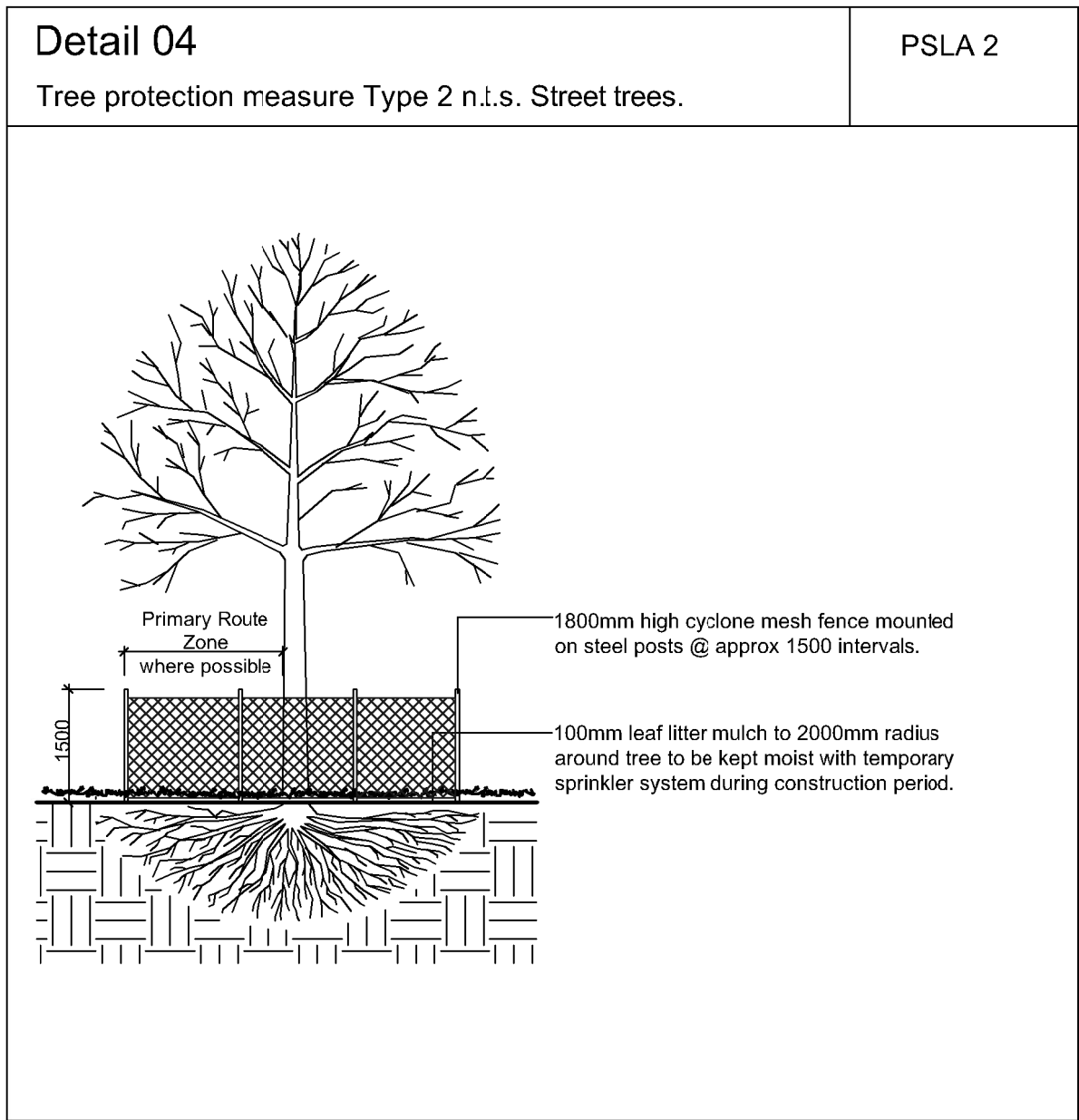
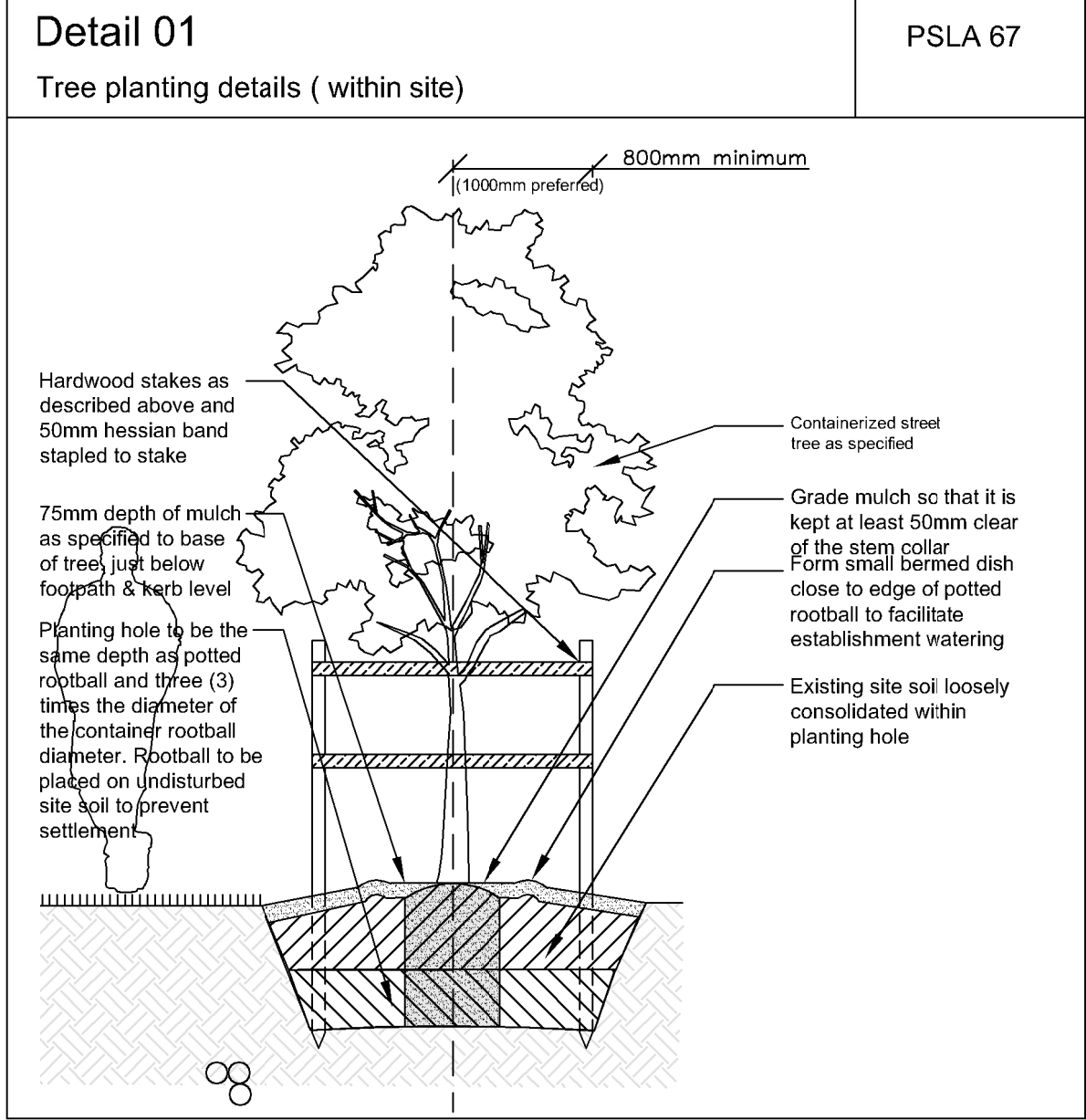
**Approvals:** The Landscape Contractor is to liaise as necessary, to ensure that the irrigation system conforms with all Water Board, Council and Australian standards (AS)

Maintenance schedule

The Landscape Contractor shall maintain the contract areas by accepted horticultural practices as well as rectifying any defects that become apparent in the works under normal use. The Landscape Contractor shall maintain the works and make good all defects for a period of twenty six (26) weeks after the date of practical completion. Practical completion of the landscape works shall include but not be limited to the replacement of plants which have failed or been damaged or stolen during work under the contract. Landscape maintenance shall include but not be limited to the following: watering, rubbish removal, spraying and wiping leaf surfaces, replacing failed plants, maintaining mulch, pruning, insect and disease control, cleaning of surrounding areas. Mow the nature strip turf when it is established at regular intervals to maintain an average height of 50mm.

After the completion of the defects period noted above the owners of the development are responsible for the ongoing maintenance and viability of the gardens and ongoing maintenance shall include the following:  
• Regular hand watering of gardens if installed drip line irrigation system is turned off. Irrigation to be installed and maintained as per manufacturers specifications including regular checks for function of system, to check for leaks and to ensure general good working operation. Regular maintenance of the irrigation system battery timers (where required) for isolated planter beds in common areas. Battery timers for private terraces are the responsibility of the individual unit owners.  
• Mulch is to be regularly topped up every 6 months to ensure an even 75mm coverage in all garden beds  
• Regular pruning of plants is to be undertaken to ensure continued uniform growth of canopy and foliage of trees and shrubs. Removal of vegetation over the long term (if and when required) as the garden matures. Subject to the relevant council applications  
• Regular assessment of plants for evidence of insect attack or disease. Appropriate pest oil, white oil of industry standard safe to use pest spray is to be employed if required  
• Garden/lawn edging to be inspected regularly after practical completion to ensure it is maintained in good order. Replace where required if defective sections are discovered  
• All garden refuse, rubbish and associated items that arise from the regular garden maintenance procedures are to be collected and stored in appropriate general waste or green waste containers as is appropriate. Excess waste unable to be stored in Council waste containers is to be removed from the site in a timely manner.

Proposed planting palette



AMENDMENTS		
D	4.4.2022	
C	30.9.2021	
B	30.9.21	-
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DWG: LANDSCAPE PLAN - NOTES & DETAILS

DATE: 4.4.22  
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NORTH

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